

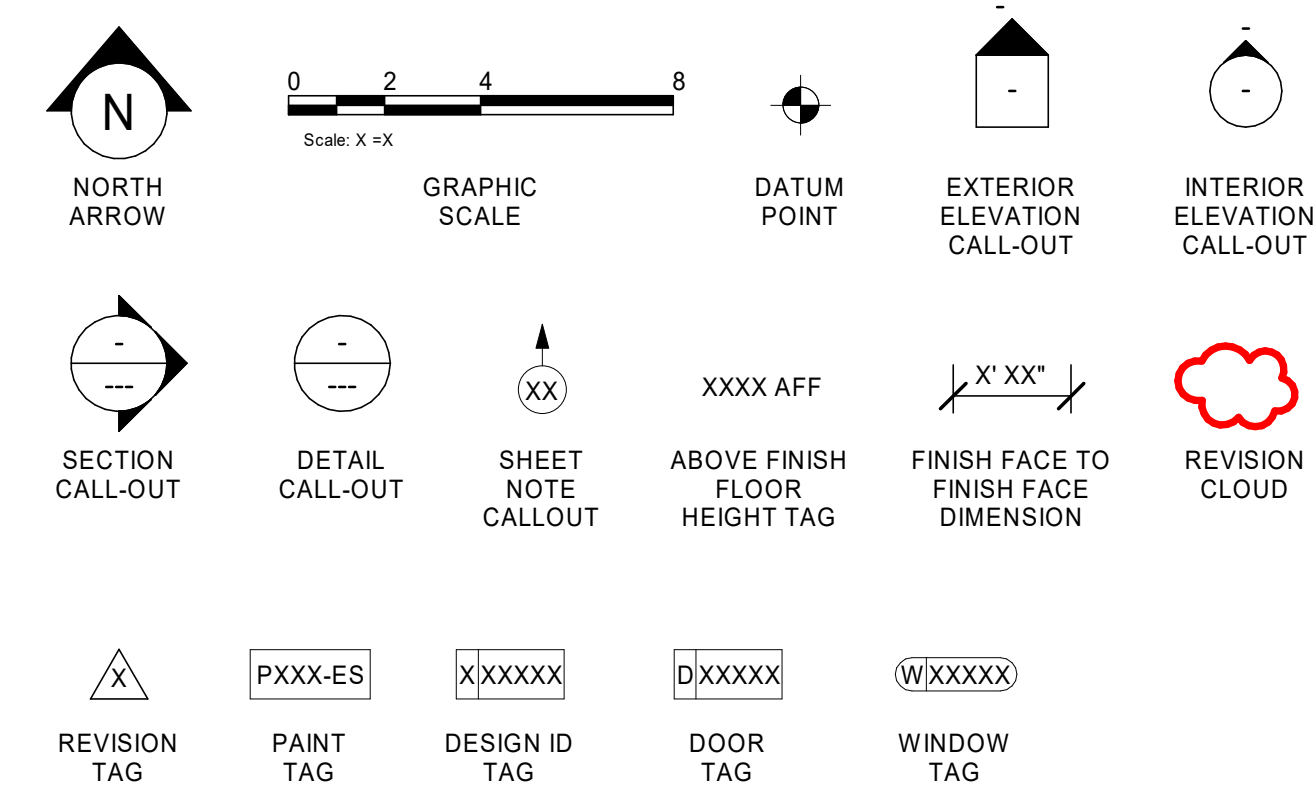
ABBREVIATIONS

A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AF	ABOVE FINISHED FLOOR
AMP	AMPERE
ARCH	ARCHITECT
BOH	BACK OF HOUSE
CAB	CABINET
CL	CENTER LINE
CLM	CEILING
CM	CONSTRUCTION MANAGER
CTR	CENTER
CX	COMMISSIONING
CXA	COMMISSIONING AGENT
DEG	DEGREE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DM	STARBUCKS
DM	DESIGN MANAGER
DN	DOWN
EA	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT
FLR	FLOOR
FOH	FRONT OF HOUSE
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
FOIO	FURNISHED BY OWNER, INSTALLED BY OWNER
FT	FOOT/FEET
G	GROUND
GC	GENERAL CONTRACTOR
GWB	GYPSPUM WALLBOARD
HC	HOLLOW CORE
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
I.D.	INSIDE DIAMETER
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
LL	LANDLORD
LV	LOW VOLTAGE
MAX	MAXIMUM
MEP	"MECHANICAL, ELECTRICAL AND PLUMBING"
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
O.D.	OUTSIDE DIAMETER
PLC	PLACE
R	RADIUS
REF	REFERENCE
REQ'D	REQUIRED
REV	REVISION
RND	ROUND
SB	STARBUCKS
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
TEMP	TEMPORARY
TYP	TYPICAL
UC	UNDER COUNTER
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD

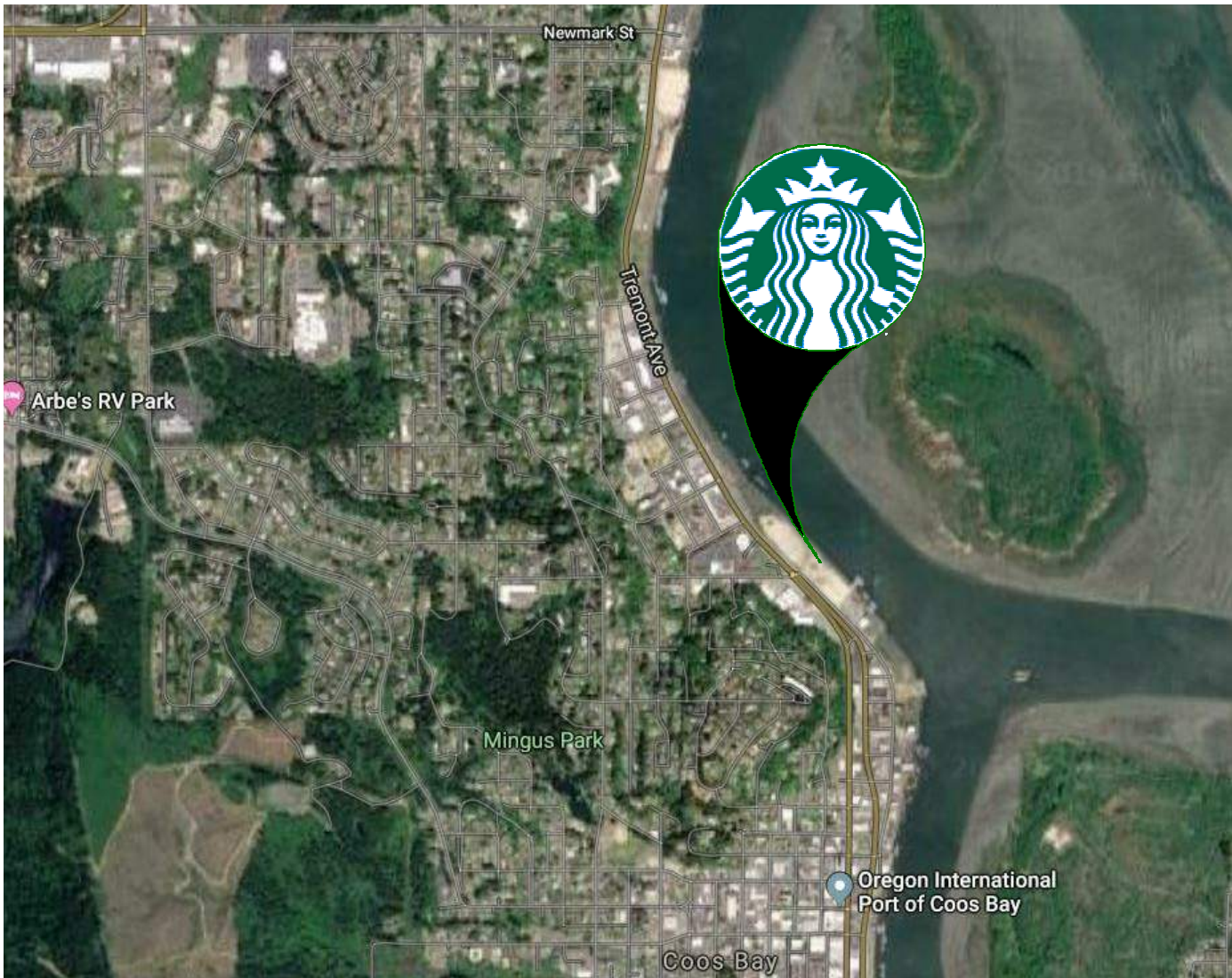
RESPONSIBILITY LEGEND

GC	GENERAL CONTRACTOR
LL	LANDLORD
SB	STARBUCKS

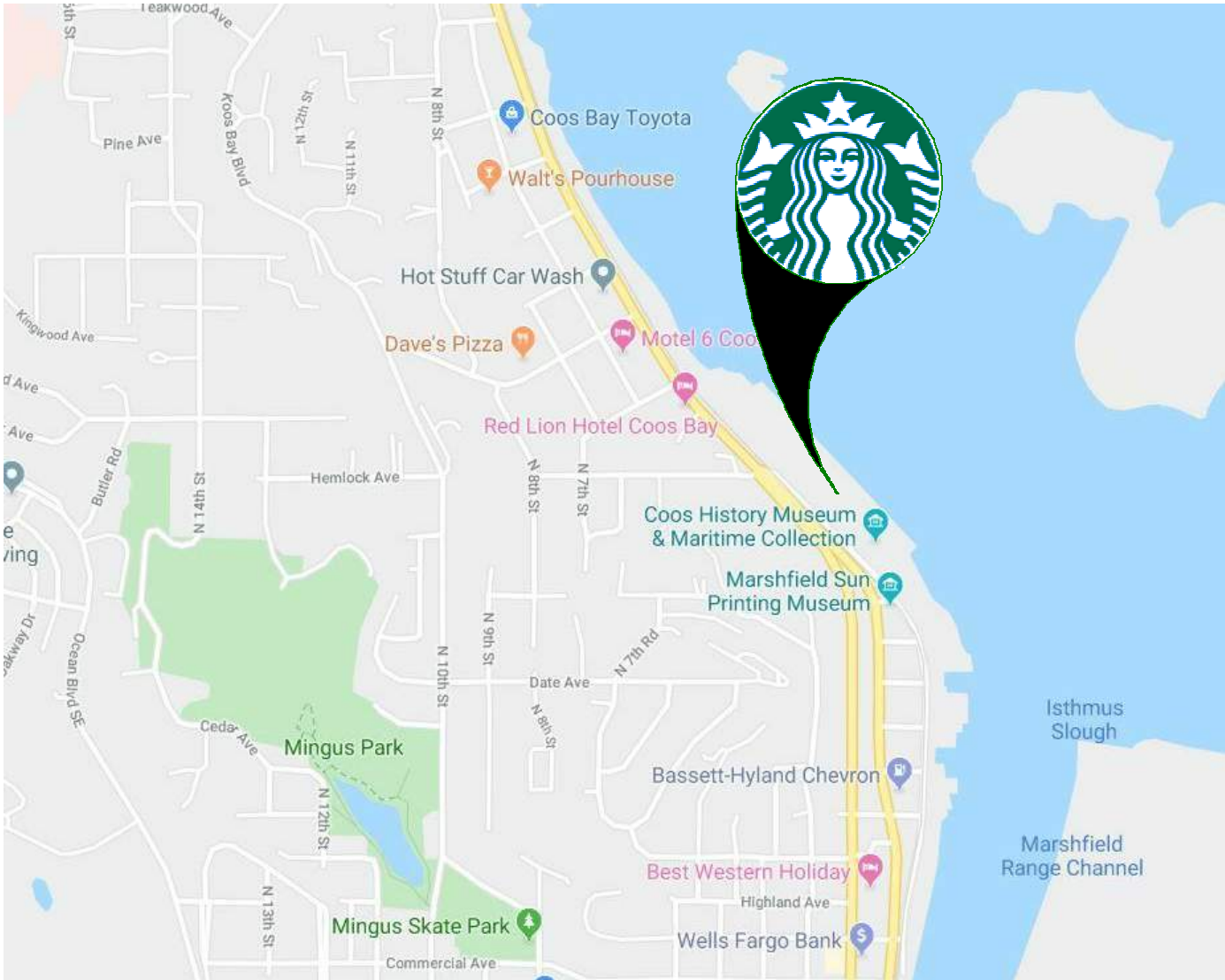
ARCHITECTURAL SYMBOL LEGEND



AERIAL MAP



VICINITY PLAN



PROJECT CONTACTS

MAILING ADDRESS:	STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH MS STOP: S-SD10 SEATTLE, WASHINGTON 98134 (206) 318-1575
DESIGN MANAGER:	RYAN WONG STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH MS STOP: S-SD10 SEATTLE, WASHINGTON 98134 (206) 318-0019
CONSTRUCTION MANAGER:	RON BLANCHETTE STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH MS STOP: S-SD10 SEATTLE, WASHINGTON 98134 (503) 572-4345
ARCHITECT OF RECORD:	GPD ENGINEERING & ARCHITECTURE PROFESISONAL CORPORATION 520 SOUTH MAIN ST. SUITE 2531 AKRON, OH 44311 330-572-3611 CONTACT: TONY WAHL AWAHL@GPDGROUP.COM
MEP CONSULTANT OF RECORD:	GPD ENGINEERING & ARCHITECTURE PROFESISONAL CORPORATION 520 SOUTH MAIN ST. SUITE 2531 AKRON, OH 44311 330-572-3611
STRUCTURAL CONSULTANT:	GPD ENGINEERING & ARCHITECTURE PROFESISONAL CORPORATION 520 SOUTH MAIN ST. SUITE 2531 AKRON, OH 44311 330-572-3611

SCOPE OF WORK

NEW PROPOSED TENANT IMPROVEMENT FOR NEW STARBUCKS STORE W/ DRIVE-THRU.

INTERIOR SCOPE OF WORK INCLUDES INTERIOR WALLS, WALL FINISHES, FURNITURE, FIXTURES, EQUIPMENT, CASEWORK, AND ACCESSIBLE RESTROOMS.

EXTERIOR SCOPE OF WORK INCLUDES BUILDING SIGNAGE, DRIVE-THRU EQUIPMENT. IT ALSO INCLUDES EXTERIOR FURNITURE.

SIGNAGE AND DRIVE-THRU EQUIPMENT PERMITTED SEPARATELY.

GENERAL NOTES


- THE DRAWINGS AND PROJECT MANUAL TOGETHER CONSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION. ALL GENERAL REQUIREMENTS ARE TO BE MET AND ALL MATERIALS, FINISHES AND SYSTEMS ARE TO BE INSTALLED AND PERFORM PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF PERMIT PLANS ON-SITE TO DOCUMENT ALL CHANGES MADE DURING CONSTRUCTION. THE RECORD DRAWINGS SHALL BE ISSUED TO THE OWNER AT PROJECT CLOSE-OUT AS DESCRIBED IN THE GENERAL REQUIREMENTS OF THE PROJECT MANUAL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. SEE THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS CONSTRUCTION MANAGER.

SITE INFORMATION

CODE AUTHORITIES:	CITY OF COOS BAY
BUILDING CODE:	2019 OREGON STRUCTURAL SPECIALTY CODE
PLUMBING CODE:	2017 OREGON PLUMBING SPECIALTY CODE
MECHANICAL CODE:	2019 OREGON MECHANICAL SPECIALTY CODE
ELECTRICAL CODE:	2017 OREGON ELECTRICAL SPECIALTY CODE
ENERGY CODE:	2019 OREGON ZERO ENERGY READY COMMERCIAL CODE
FIRE CODE:	2019 OREGON FIRE CODE
HEALTH CODE:	OREGON HEALTH CODE
ACCESSIBILITY CODE:	2009 ICC / ANSI A117.1
ZONING:	
SPRINKLED:	YES
LEASABLE AREA:	1,859
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	A-2 NO CHANGE
PROPOSED USE:	RETAIL SALES AND SERVICES
DEFERRED SUBMITTALS:	SIGNAGE
OCCUPANCY LOAD:	60
INDOOR SEATING / CAFE:	677 SF / 15 = 45
RETAIL / SALES:	290 SF / 30 = 10
BACKBAR:	375 SF / 200= 2
WORKROOM:	375 SF / 300 = 2
RESTROOM / VESTIBULES:	141 SF / 300 = 1
TOTAL INTERIOR OCCUPANT LOAD:	60
TOTAL INTERIOR SEATING:	40
TOTAL EXTERIOR SEATING:	10
TOTAL GROSS SQUARE FOOTAGE:	2,100 SF
TOTAL NET SQUARE FOOTAGE:	1,859 SF

INDEX OF SHEETS

LEGEND: X - SHEET ISSUED R - SHEET ISSUED FOR REFERENCE AND COORDINATION ONLY SEE TITLEBLOCK FOR REVISION ISSUE DATE(S)					
		BID SET	PERMIT SET	REVISION 1	REVISION 2
		REVISION 3	REVISION 4		
SHEET	SHEET TITLE				
GENERAL					
G001	GENERAL INFORMATION	X	X		
G002	GENERAL INFORMATION	X	X		
G003	LIFE SAFETY AND ACCESSIBILITY PLAN	X	X		
G004	HEALTH DEPARTMENT PLAN	X	X		
ARCHITECTURAL					
A001	ARCHITECTURAL SITE PLAN	X	X		
A002	ARCHITECTURAL SITE DETAILS	X	X		
A003	ARCHITECTURAL SITE DETAILS	X	X		
A101	BUILDING FLOOR PLAN	X	X		
A102	BUILDING FLOOR PENETRATION PLAN	X	X		
A103	BUILDING ROOF PLAN	X	X		
A201	BUILDING EXTERIOR ELEVATIONS	X	X		
A202	BUILDING EXTERIOR ELEVATIONS	X	X		
A602	WINDOW AND DOOR SCHEDULES & DETAILS	X	X		
INTERIORS					
I101	FF & E PLAN	X	X		
I102	CASEWORK PLAN	X	X		
I103	REFLECTED CEILING PLAN	X	X		
I103B	LIGHTING PLAN	X	X		
I104	INTERIOR FINISH PLAN	X	X		
I201	INTERIOR FINISH ELEVATIONS	X	X		
I202	INTERIOR FINISH ELEVATIONS	X	X		
I203	INTERIOR FINISH ELEVATIONS	X	X		
I204	INTERIOR FINISH ELEVATIONS	X	X		
I205	INTERIOR FINISH ELEVATIONS	X	X		
I401	RESTROOM PLAN & ELEVATIONS	X	X		
I501	INTERIOR DETAILS	X	X		
I502	INTERIOR DETAILS	X	X		
I503	DESIGN DETAILS	X	X		
I504	DESIGN DETAILS	X	X		
I601	CASEWORK AND FF&E SCHEDULES	X	X		
I602	INTERIOR FINISHES & SITE SCHEDULES	X	X		
STRUCTURAL					
S001	STRUCTURAL GENERAL NOTES	X	X		
S102	SOFFIT DETAILS / KEYPLAN	X	X		
ELECTRICAL					
E001	ELECTRICAL NOTES	X	X		
E004	ELECTRICAL SITE PLAN	X	X		
E101	POWER PLAN	X	X		
E102	LIGHTING PLAN	X	X		
E103	ENLARGED ELECTRICAL PLACEMENT PLAN	X	X		
E502	ELECTRICAL DETAILS	X	X		
E513	GENERAL ELECTRICAL - EMS, NO LIGHTING	X	X		
E601	ELECTRICAL PANEL SCHEDULES	X	X		
MECHANICAL					
M001	MECHANICAL NOTES	X	X		
M101	MECHANICAL DESIGN PLAN	X	X		
M102	MECHANICAL ROOF PLAN	X	X		
M501	MECHANICAL DETAILS	X	X		
PLUMBING					
P001	PLUMBING NOTES	X	X		
P101	PLUMBING SUPPLY PLAN	X	X		
P102	PLUMBING WASTE & VENT PLAN	X	X		
P103	PLUMBING ISOMETRIC & SCHEDULE	X	X		
P104	PLUMBING UNDERSLAB PLAN	X	X		
P501	PLUMBING DETAILS	X	X		
P502	PLUMBING DETAILS	X	X		
P503	PLUMBING DETAILS	X	X		




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STARBUCKS TEMPLATE VERSION: i2019-10-25



GPD Engineering and Architecture
Professional Corporation

520 SOUTH MAIN ST., SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20

REGISTERED ARCHITECT
MARK S. SALOPEK
AKRON, OH
NO. 6036
1/31/2020
STATE OF OHIO

PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
GENERAL INFORMATION

SCALE: AS SHOWN

SHEET NUMBER:
G001

INDOOR SEATING			
TYPE	DESCRIPTION	NUMBER OF ITEMS	TOTAL SEATS
01 SEAT	TABLE TOP, ROUND	2	4
02 SEAT	TABLE TOP, SQUARE/RECTANGLE	7	24
03 SEAT	COMMUNITY TABLE	1	8
04 SEAT	TABLE TOP, OVAL	1	4

OUTDOOR SEATING			
TYPE	DESCRIPTION	NUMBER OF ITEMS	TOTAL SEATS
05 SEAT	TABLE TOP, ROUND	1	2
06 SEAT	TABLE TOP, SQUARE	3	6
07 SEAT	OTHER (ADA)	1	2

EGRESS CALCULATION	
EXIT WIDTH REQUIRED - 60 OCC X 0.2	= 12 IN.
EXIT WIDTH PROVIDED	= 114 IN.
EXITS	= 36 IN. PRIMARY ENTRY, 36 IN. SECONDARY ENTRY, 42 IN. WORKROOM
# EXITS REQUIRED	= 2
# EXITS PROVIDED	= 3
MAXIMUM ALLOWABLE TRAVEL DISTANCE	= 75 FT.
MAXIMUM TRAVEL DISTANCE PROVIDED	= 42 FT.
MINIMUM EXIT SEPARATION	= 74' - 11". (MAXIMUM DIAGONAL) / 2 = 37' - 5.5"
EXIT SEPARATION PROVIDED	= 44' - 1.25"

PLUMBING FIXTURE CALCULATION				
CHAPTER 29-29023 (FOR REFERENCE ONLY)				
OCCUPANCY	MALE	FEMALE	TOTAL	
	30 OCC	30 OCC	60 OCC	
FIXTURES	WATERCLOSETS		LAVATORIES	
	1 / 25 OCC		1 / 40 OCC.	
	REQUIRED:	1 WC PER M 1 WC PER F	1 LAV PER M 1 LAV PER F	0
	PROVIDED:	1 WC PER M 1 WC PER F	1 LAV PER M 1 LAV PER F	0

ROOM SCHEDULE

NAME	AREA
BACKBAR	376 SF
CAFE	967 SF
MEN'S RESTROOM	49 SF
RESTROOM VESTIBULE	44 SF
WOMEN'S RESTROOM	48 SF
WORKROOM	374 SF
GRAND TOTAL	1859 SF


OCCUPANCY NOTES

OCCUPANCY CLASSIFICATION: A-2
TOTAL OCCUPANTS: 60

OCCUPANCY	
CAFE: 677 SQ. FT. / 15 SQ. FT. / OCC	45 OCC
RETAIL: 290 SQ. FT. / 30 SQ. FT. / OCC	10 OCC
BAR: 375SQ. FT. / 200 SQ. FT. / OCC	2 OCC
WORKROOM: 375 SQ. FT. / 300 SQ. FT. / OCC	2 OCC
UNOCCUPIED: 141 SQ. FT. / 300 SQ. FT. / OCC	1 OCC
TOTAL OCC LOAD:	60 OCC

ACCESSIBLE SEATING

INTERIOR SEATING:
40 SEATS X 5% = 2 ADA REQUIRED (4 PROVIDED)
EXTERIOR SEATING:
10 SEATS X 5% = 1 ADA REQUIRED (1 PROVIDED)




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STARBUCKS TEMPLATE VERSION: i2019-10-25



GPD Engineering and Architecture
Professional Corporation

520 SOUTH MAIN ST, SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20

REGISTERED ARCHITECT
MARK S. SALOPEK
AKRON, OH
NO. 6036
1/31/2020

STATE OF OHIO

Mark S. Salopek

PROJECT NAME:
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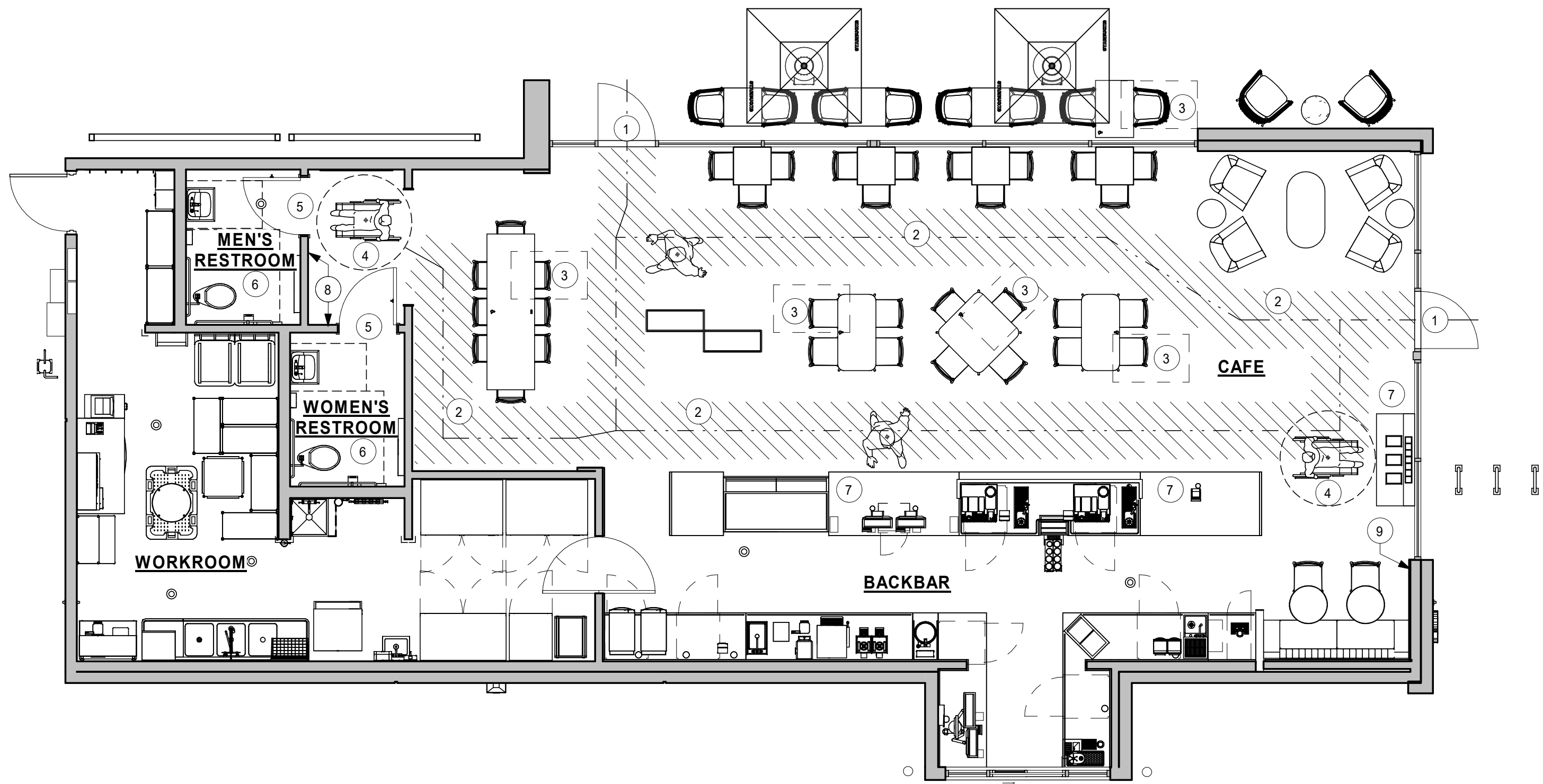
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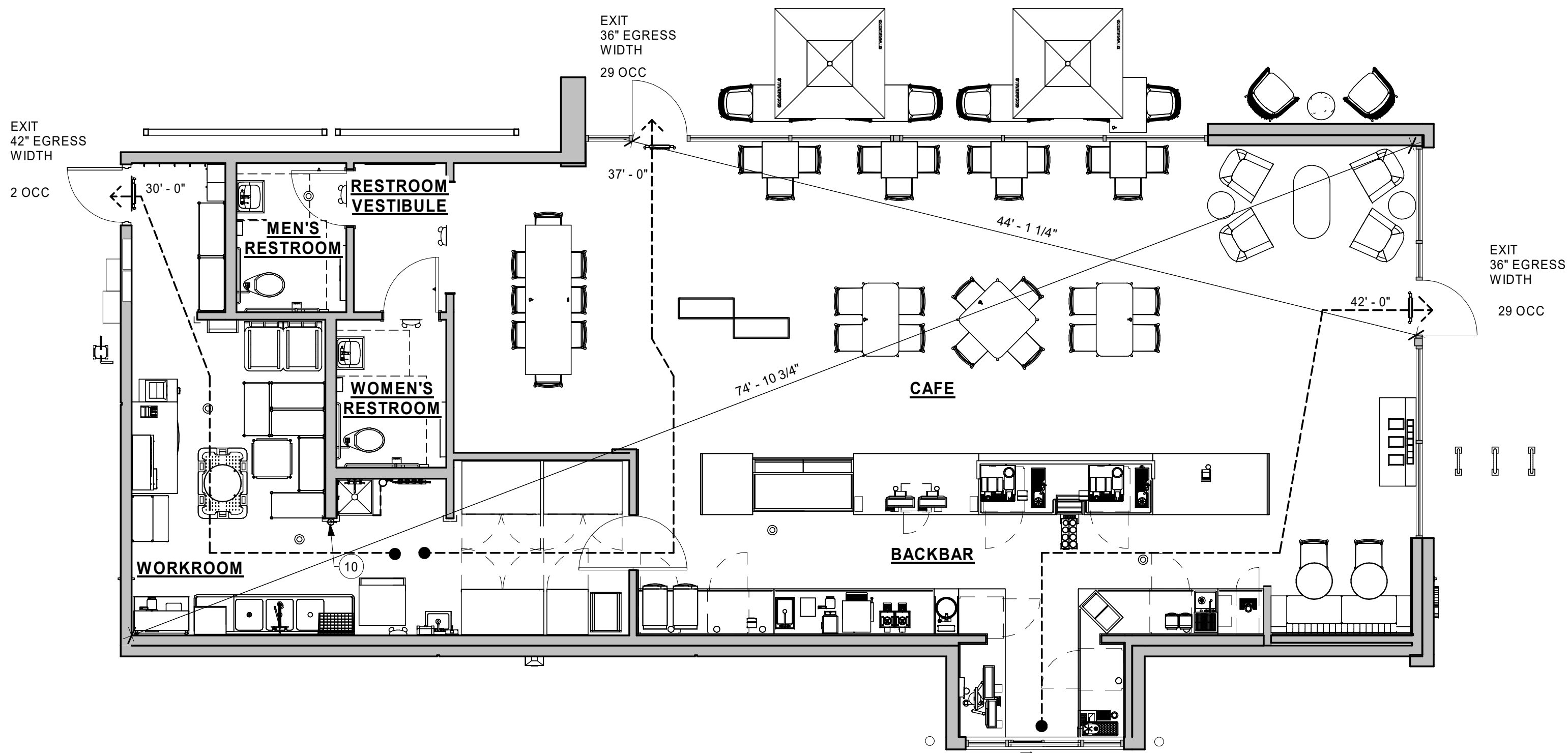
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SHEET NUMBER:
G002

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2 ACCESSIBILITY PLAN
Scale: 3/16" = 1'-0"



1 LIFE SAFETY PLAN
Scale: 3/16" = 1'-0"

KEYED NOTES

1. THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
2. BARRIER-FREE PATH OF TRAVEL.
3. 30" (160 MM) X 48" (1220 MM) CLEAR FOR WHEELCHAIR ACCESS.
4. 60" (1525 MM) DIAMETER MINIMUM TURN RADIUS FOR WHEELCHAIR ACCESS.
5. 32" (815 MM) MINIMUM CLEAR AT RESTROOM DOOR.
6. SEE ENLARGED RESTROOM PLAN AND ELEVATIONS SHEET(S) FOR ADDITIONAL INFORMATION ON ACCESSIBLE RESTROOM CLEARANCES.
7. POS TRANSACTION PLANE, CONDIMENT CART TOP AND HAND-OFF PLANE ARE 34 INCHES (860 MM) ABOVE THE FINISHED FLOOR FOR WHEELCHAIR ACCESSIBILITY.
8. PROVIDE BARRIER-FREE SIGNAGE AT ADA RESTROOMS PER ALL APPLICABLE CODES.
9. PROVIDE & POST OCCUPANT LOAD SIGNAGE, PER IBC 1004.3.
10. FIRE EXTINGUISHER LOCATION. G.C. TO CONFIRM LOCATION WITH INSPECTOR.

ROOM SCHEDULE

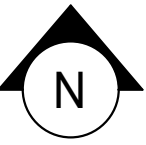
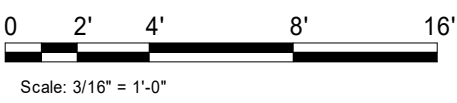
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CAFE	967 SF
MEN'S RESTROOM	49 SF
RESTROOM VESTIBULE	44 SF
WOMEN'S RESTROOM	48 SF
WORKROOM	374 SF
GRAND TOTAL	1859 SF

MEANS OF EGRESS NOTES

- A. EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT. (1004.3)
- B. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1014.2)
- C. PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1008.1.10):
- 1) THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - 2) THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - 3) PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - 4) PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - 5) FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
- D. STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMPS ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL. (1003.3.3)
- E. THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
- 1) EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 - 2) EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
 - 3) NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- F. WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (1008.1.9.3)
- G. EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9)
- H. LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (1120 MM). (1008.1.5, 1008.1.6)

LEGEND

- ← 30' (9144 MM) → TRAVEL DISTANCE
- /// BARRIER FREE PATH OF TRAVEL (MIN 3'-0" (915MM) - NO PINCH POINT)
- ⬡ EMERGENCY LIGHT
- ⬡ EXIT SIGN WITH LIGHTING
- ⬡ FIRE EXTINGUISHER



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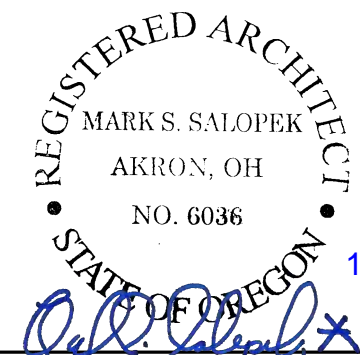
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STARBUCKS TEMPLATE VERSION: (2019-10-25)



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P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

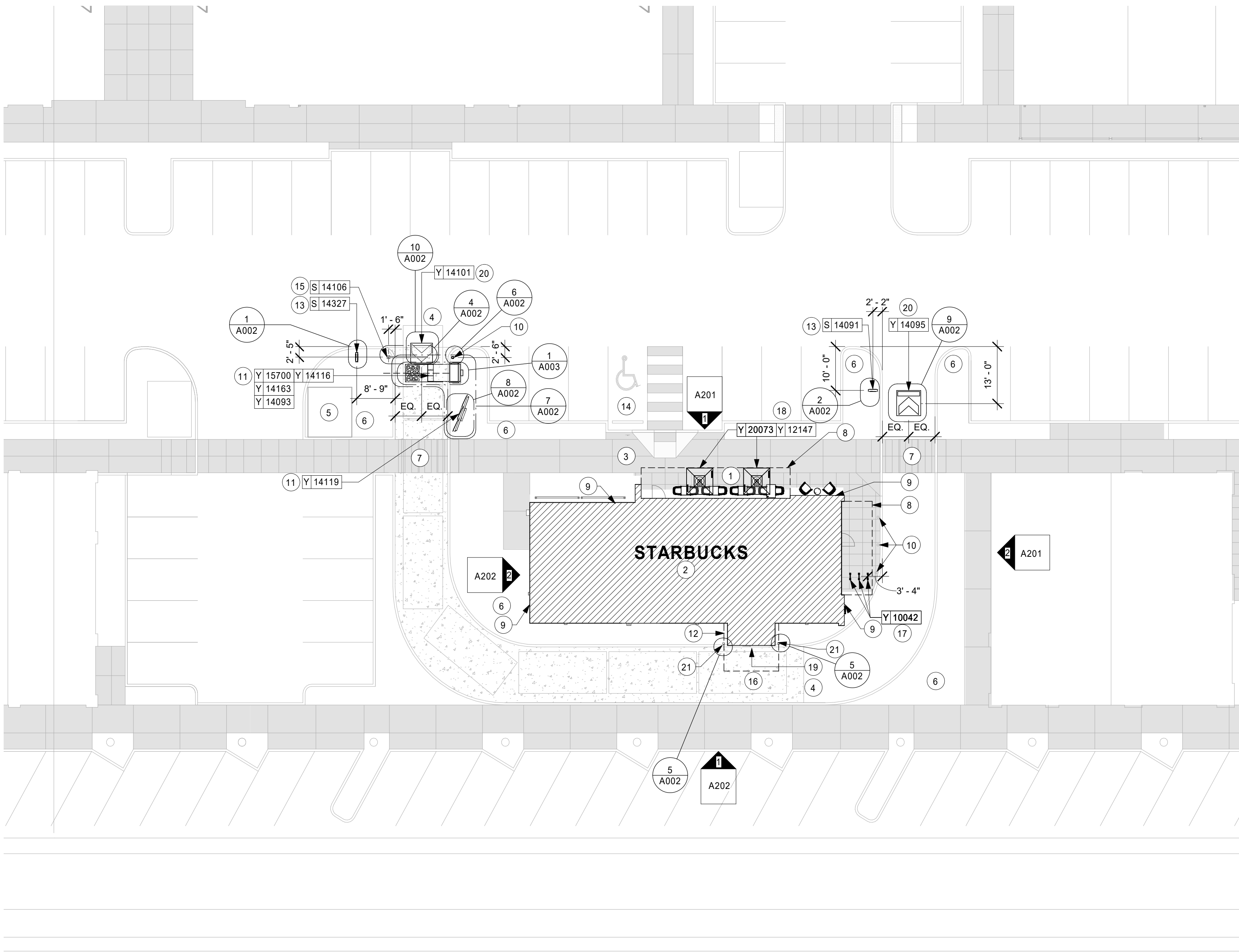
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**LIFE SAFETY AND
ACCESSIBILITY PLAN**
SCALE: AS SHOWN

SHEET NUMBER:
G003



HWY 101 (OREGON COAST HIGHWAY)

KEYED NOTES

1. STARBUCKS PATIO / SEATING AREA.
2. HATCH INDICATES STARBUCKS TENANT SPACE.
3. SIDEWALKS, BY LL, ENSURE ACCESSIBLE PATH OF TRAVEL TO ENTRY.
4. MINIMUM 12'-0" WIDE 6" THICK INTEGRAL BLACK REINFORCED CONCRETE (6X6 10/10 WWF) DRIVE-THRU LANE WITH 6" CURB. EXTEND 12' BEYOND CENTERLINE OF DT WINDOW AND 12' BEFORE ORDER POINT. (BY LL)
5. TRASH ENCLOSURE, BY LL.
6. LANDSCAPE AREA, BY LL.
7. CROSSROAD SAFETY STRIPING ON PAVEMENT BY LL.
8. CANOPY ABOVE, BY LL.
9. HOSE BIBB (BY LL). LOCATION PER SHELL DRAWINGS, SEE SHELL DRAWINGS FOR ADDITIONAL INFORMATION.
10. NON-ILLUMINATED BOLLARD AND FOOTING, BY LL.
11. STARBUCKS DRIVE-THRU EQUIPMENT, ASSOCIATED FOUNDATION AND ELECTRICAL CONDUIT WITH PULL STRINGS BY LL, SEE STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. OUTLINE OF CANOPY ABOVE DRIVE-THRU WINDOW, BY LL.
13. SITE DIRECTIONAL SIGNAGE LOCATION, ASSOCIATED FOOTING AND ELECTRICAL CONDUIT WITH PULL STRINGS BY LL. SEE ELECTRICAL DRAWINGS.
14. ACCESSIBLE PARKING SPACES, BY LL.
15. DT CLEARANCE BAR LOCATION, ASSOCIATED FOOTING BY LL.
16. DT DETECTOR LOOP AT ORDER POINT AND DT WINDOW, BY LL, SEE ELECTRICAL FOR MORE INFORMATION.
17. HOOP BIKE RACK, BY LL. SEE SHELL BUILDING CONSTRUCTION DRAWINGS FOR DETAILS.
18. UMBRELLA AND BASE.
19. DRIVE-THRU WINDOW WITH AIR CURTAIN, BY LL.
20. DRIVE-THRU LANE ENTRY/EXIT THERMOGRAPHIC BY GC.
21. SITE BOLLARD BY LL.

GENERAL NOTES

- A. REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- C. DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. PROVIDE 6" (150MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE, EXTENT TO INCLUDE DRIVE-THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- E. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- F. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- G. PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- H. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- I. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- J. SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- K. SEE SHEET A002 FOR ARCHITECTURAL SITE DETAILS.



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GPD Engineering and Architecture
Professional Corporation

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AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20

REGISTERED ARCHITECT
MARK S. SALOPEK
AKRON, OH
NO. 6036

1/31/2020

PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule

Rev	Date	By	Description

SHEET TITLE:
**ARCHITECTURAL SITE
PLAN**

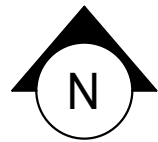
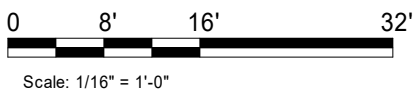
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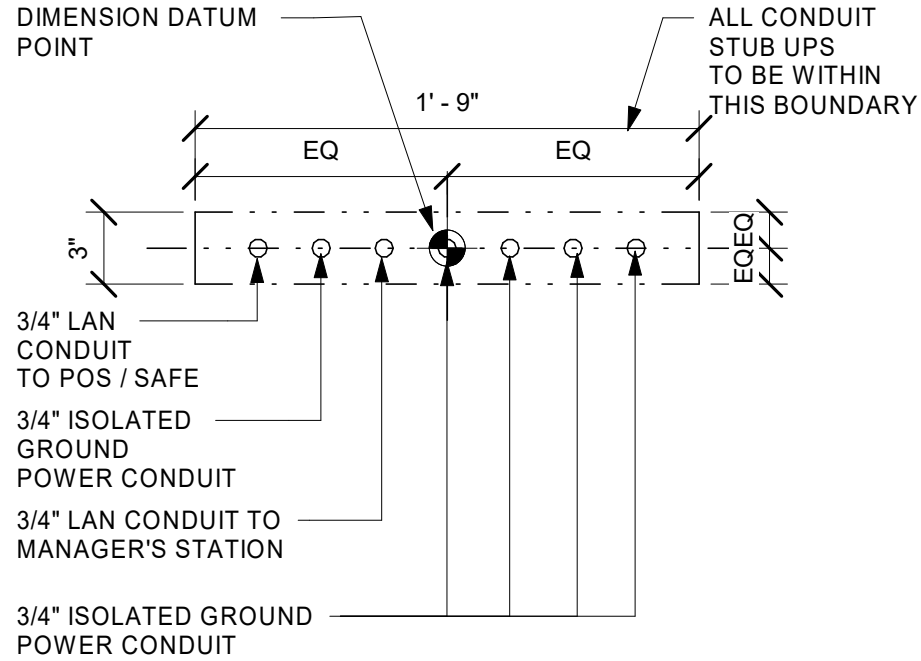
SHEET NUMBER:

A001

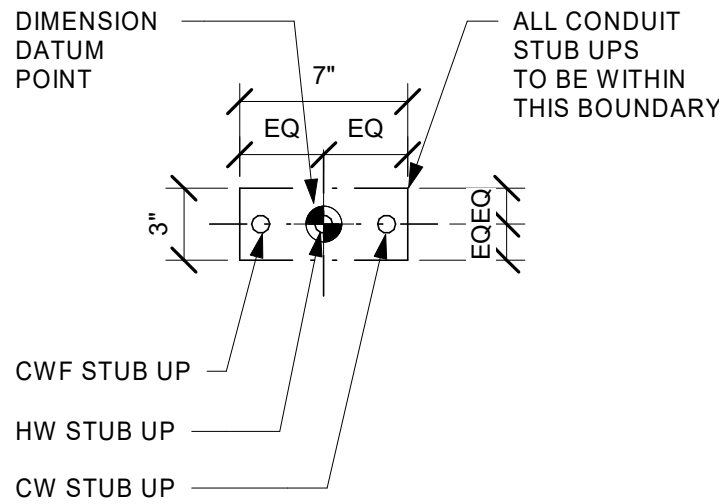
1 1ST FLOOR - SITE PLAN

Scale: 1/16" = 1'-0"

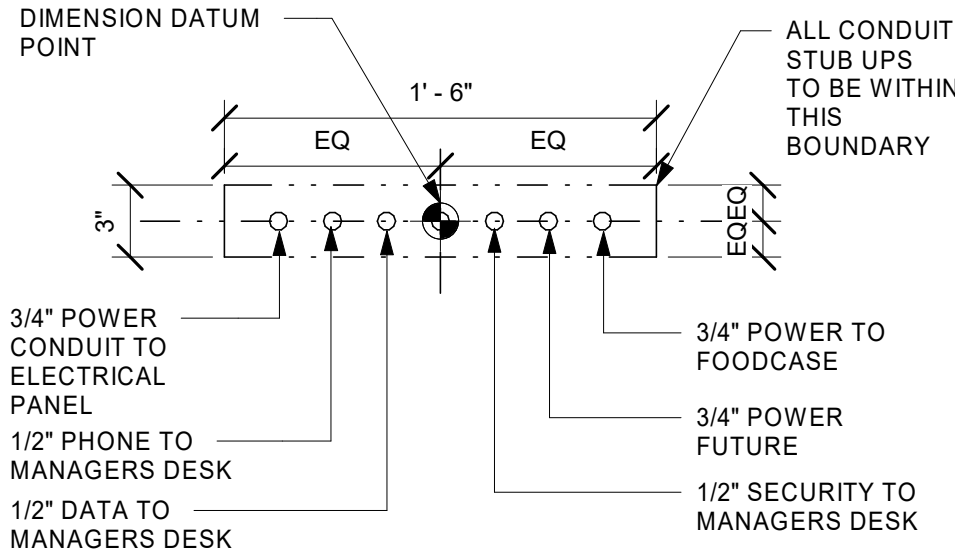




2 STUB-UP @ FRONTBAR
Scale: 1 1/2" = 1'-0"



3 STUB-UP @ FRONTBAR
Scale: 1 1/2" = 1'-0"



4 STUB-UP @ POS/SAFE
Scale: 1 1/2" = 1'-0"

KEYED NOTES

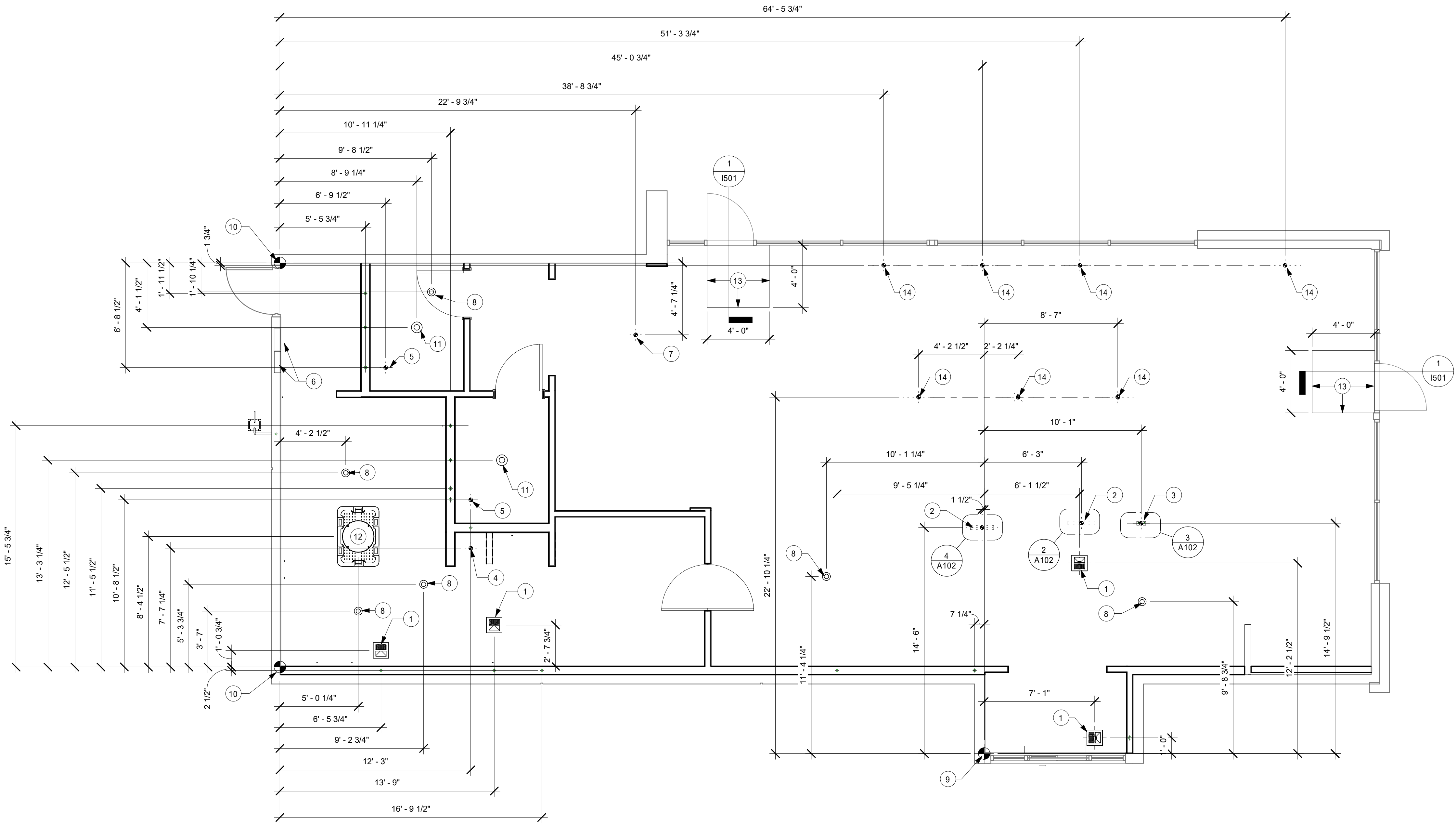
1. FLOOR SINK LOCATION, TYP. SEE SHEET P101.
2. ELECTRICAL STUB-UP LOCATION. SEE SHEET E101.
3. PLUMBING STUB-UP LOCATION. SEE SHEET P101.
4. WASTE DRAIN FOR MOP SINK.
5. WASTE DRAIN FOR TOILET.
6. LOCATION OF ELECTRICAL PANELS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
7. FLOOR ELECTRICAL OUTLET, SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
8. FLOOR CLEANOUT, SEE PLUMBING FOR ADDITIONAL INFORMATION.
9. DATUM POINT FOR ENGINE LAYOUT.
10. DATUM POINT FOR BOH AND RESTROOMS LAYOUT.
11. FLOOR DRAIN, SEE PLUMBING FOR ADDITIONAL INFORMATION.
12. GREASE INTERCEPTOR, SEE PLUMBING FOR ADDITIONAL INFORMATION.
13. OUTLINE OF RECESSED WALK-OFF MAT.
14. ELECTRICAL FLOOR PENETRATION. SEE SHEET E101

GENERAL NOTES

- A. ALL STUB-UP DIMENSIONS ARE RELATIVE TO FINISHED WALL LOCATIONS (SHOWN AS OUTLINES ON THIS PLAN). REFER TO FLOOR PLAN FOR WALL PLACEMENT.
- B. FLOOR SINK: REFER TO CUT SHEETS FOR COMPONENT SPECIFICATIONS AND CUTOOT REQUIREMENTS.
- C. WASTE LINE PENETRATIONS: REFER TO PLUMBING PLANS FOR INDIVIDUAL LINE LOCATIONS.
- D. STUB-UP PENETRATIONS: REFER TO ELECTRICAL AND PLUMBING PLANS FOR INDIVIDUAL STUB-UP LOCATIONS.
- E. TOILET FLOOR PENETRATION: REFER TO CUT SHEETS FOR STUB-UP LOCATION RELATIVE TO FINISHED WALL.
- F. PENETRATION TO BE LOCATED ON CENTERLINE OF WALL OR AS REQUIRED PER CONDITIONS.
- G. TRENCHING OUTLINE FOR GUIDELINE USE ONLY. GENERAL CONTRACTOR TO COORDINATE WITH SPECIFIC TRADES AND SITE CONDITIONS TO DETERMINE ACTUAL LAYOUT.
- H. REFER TO SHEET I101 FOR FLOOR FINISHES.

LEGEND

- EXISTING WALL
- DATUM POINT



1 1ST FLOOR - FLOOR PENETRATION PLAN
Scale: 1/4" = 1'-0"



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GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

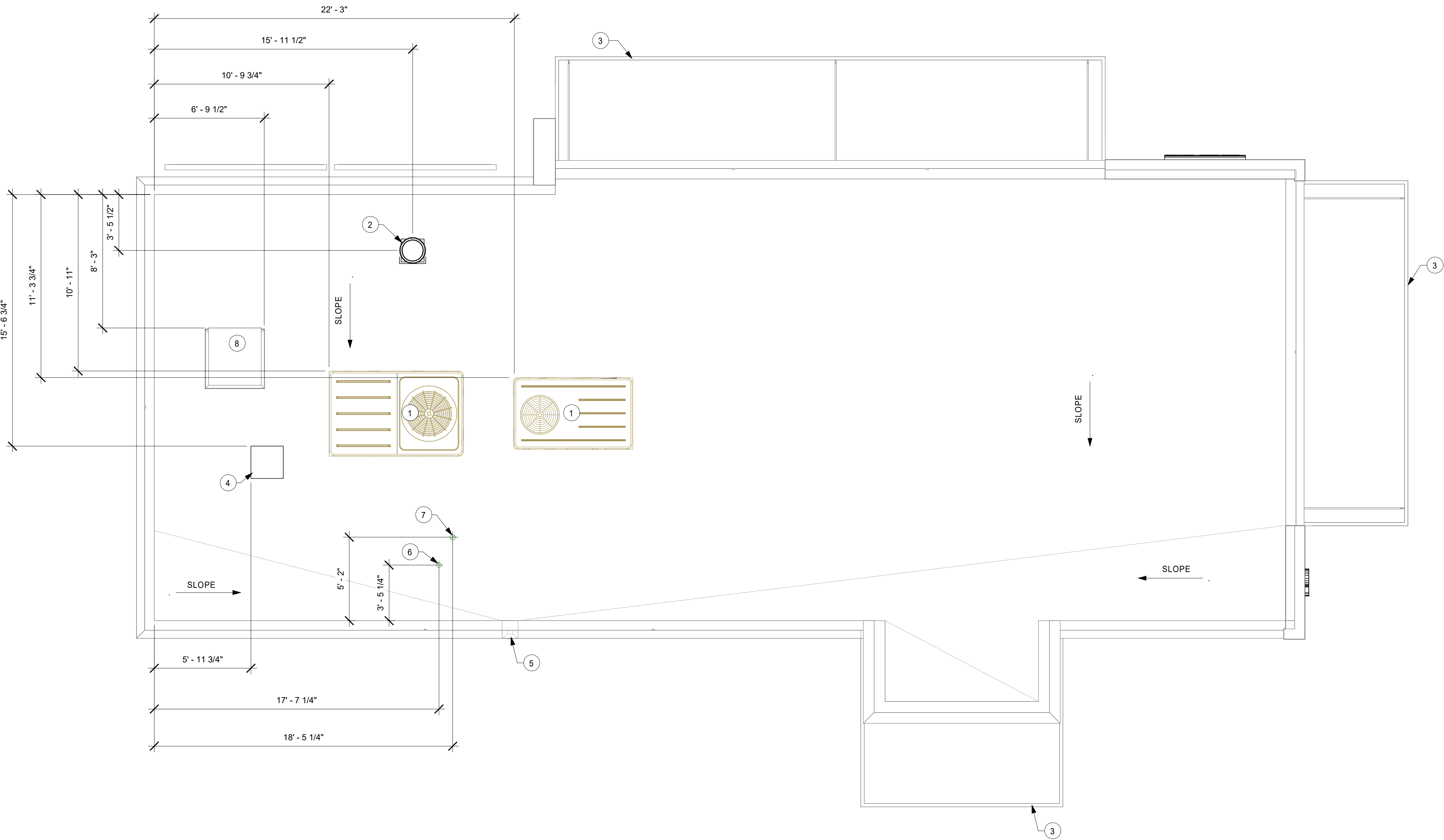
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**BUILDING FLOOR
PENETRATION PLAN**
SCALE: AS SHOWN

SHEET NUMBER:
A102



1 1ST FLOOR - ROOF PLAN

Scale: 1/4" = 1'-0"

KEYED NOTES

1. NEW ROOF TOP UNIT BY LL. SEE MECHANICAL DRAWINGS. FIELD VERIFY LOCATION.
2. RESTROOM EXHAUST FAN. SEE MECHANICAL DRAWINGS.
3. OUTLINE OF CANOPY BELOW.
4. ICE MACHINE CONDENSER, SEE MECHANICAL DRAWINGS.
5. SCUPPER AND DOWN SPOUT BY LL.
6. 3" VENT THROUGH ROOF, SEE MECHANICAL.
7. 4" FLUE FOR WATER HEATER, SEE MECHANICAL.
8. ROOF ACCESS HATCH BY LL.

GENERAL NOTES

- A. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- B. IN FREEZE THAW CLIMATES ONLY: INSTALL SELF-REGULATING HEAT TAPE IN ALL DOWNSPOUTS. SEE ELECTRICAL FOR FURTHER INFORMATION.
- C. ROOF TOP PLUMBING VENTS ARE NOT SHOWN FOR CLARITY. REFER TO PLUMBING DRAWINGS FOR VTR LOCATIONS AND FURTHER INFORMATION.



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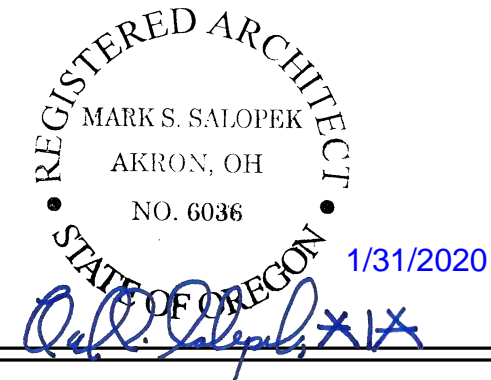
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GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
BUILDING ROOF PLAN

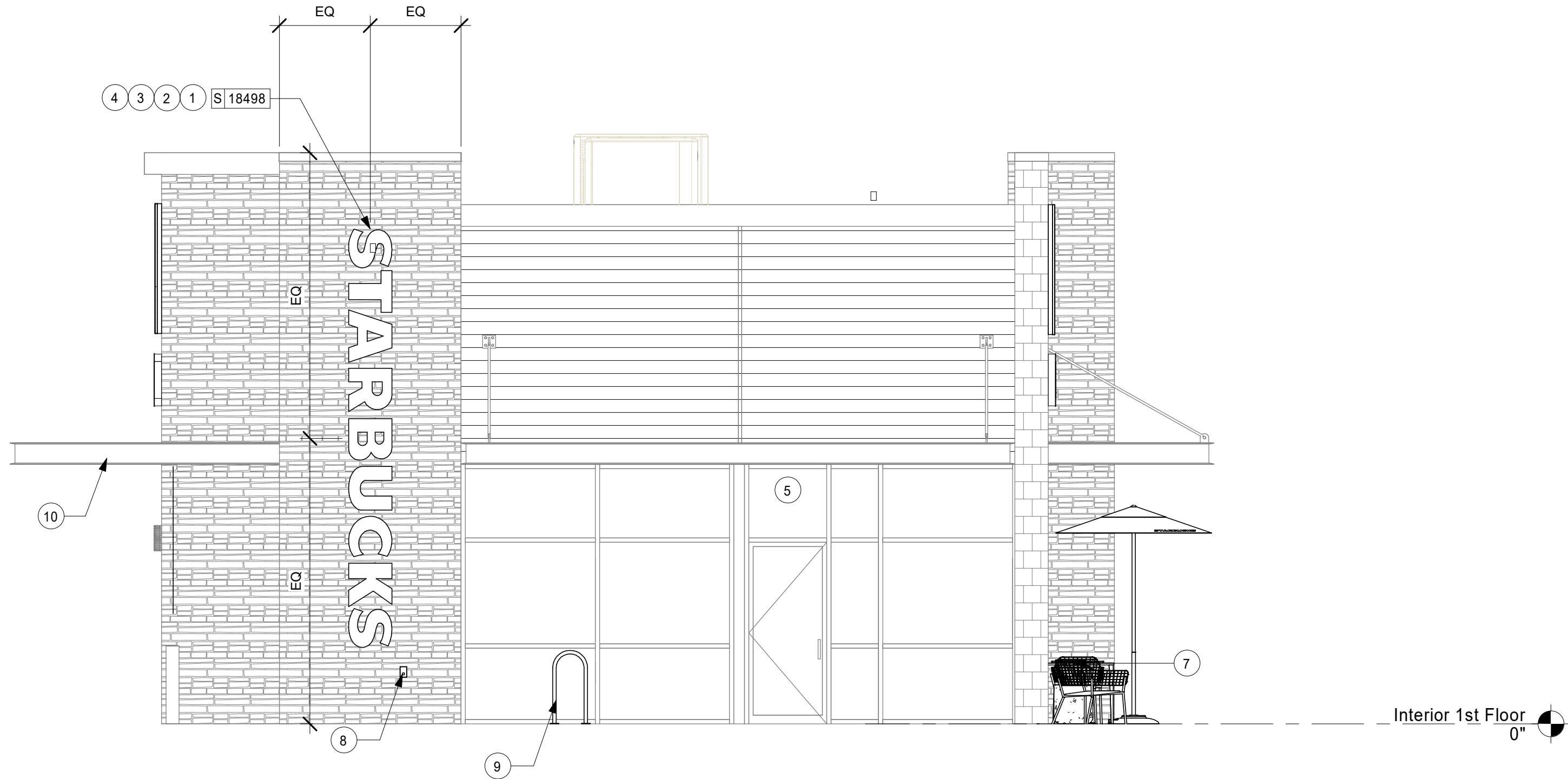
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SHEET NUMBER:

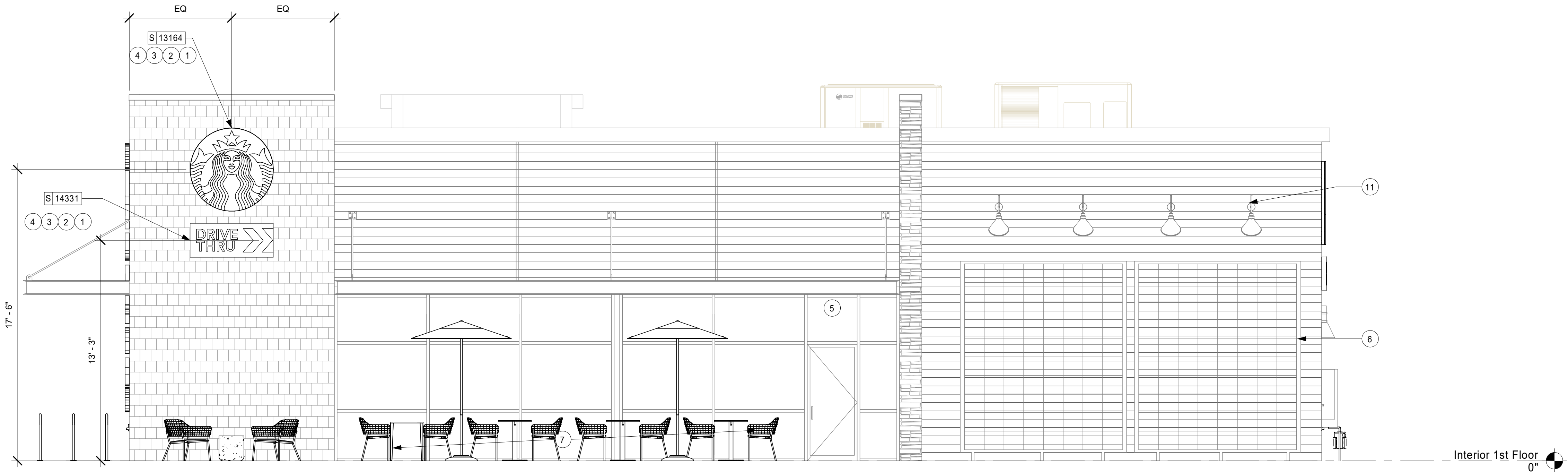
A103

SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT BY OTHERS - SHOWN FOR REFERENCE ONLY.

DIMENSIONS OF BUILDING SHELL FOR REFERENCE ONLY



2 Exterior B
Scale: 1/4" = 1'-0"



1 Exterior A
Scale: 1/4" = 1'-0"

KEYED NOTES

- GC TO PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION OF J-BOX W/ SIGNAGE VENDOR PRIOR TO INSTALL.
- PROVIDE 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- SIGNAGE BY STARBUCKS.
- SIGNAGE UNDER SEPARATE PERMIT. GC TO COORDINATE REQUIRED ATTACHMENT WITH GM AND SIGNAGE VENDOR.
- LL TO FURNISH AND INSTALL SECURITY LIGHT ABOVE ENTRY DOOR.
- EXTERIOR TRELLIS BY LL.
- EXTERIOR FURNITURE, TYP.
- HOSE BIBB LOCATION.
- BIKE RACK BY LL.
- DRIVE-THRU CANOPY BY LL.
- EXTERIOR SCONCE LIGHT BY LL, TYP.

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



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GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

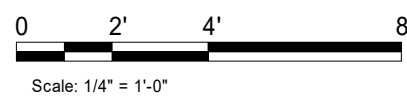
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
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DESIGN MANAGER: RYAN WONG
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Revision Schedule			
Rev	Date	By	Description

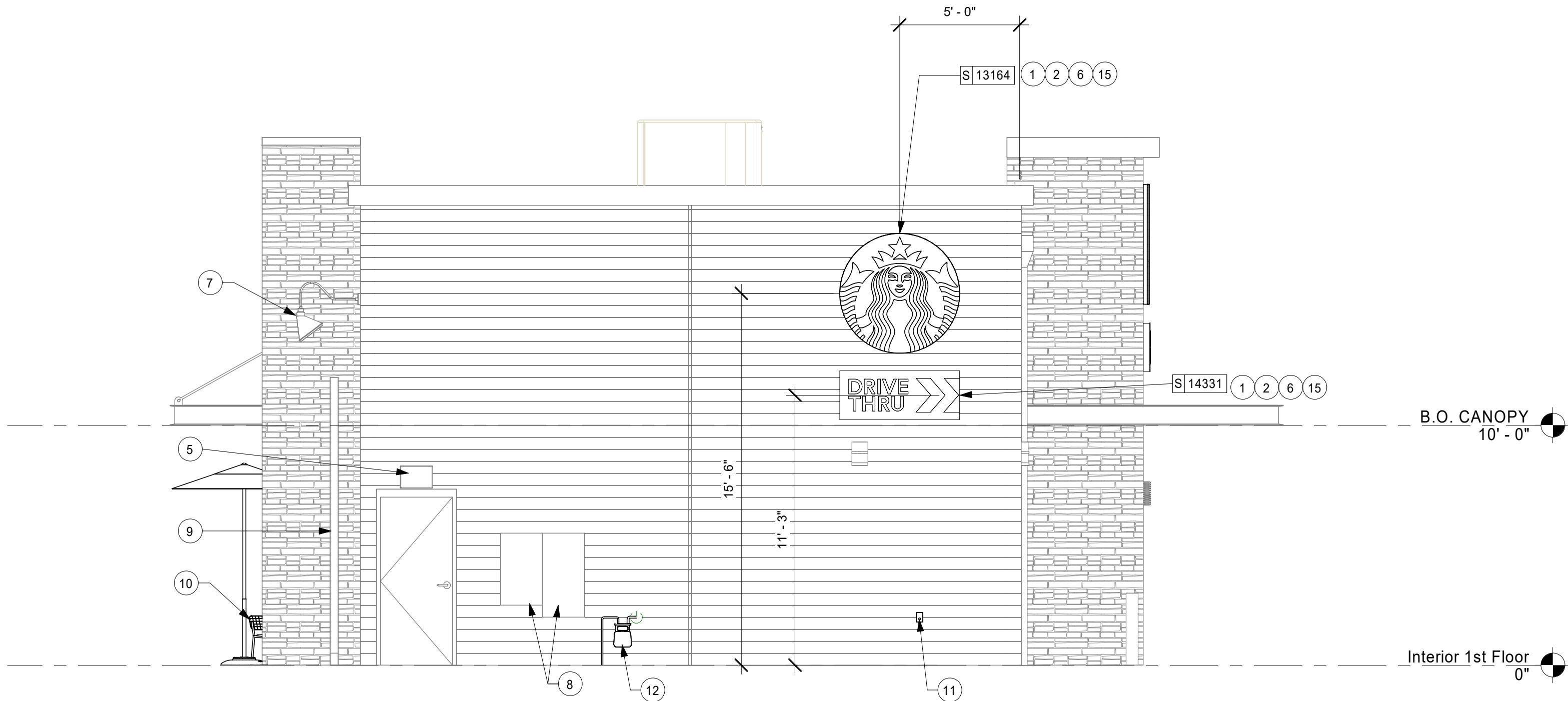
SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
A201

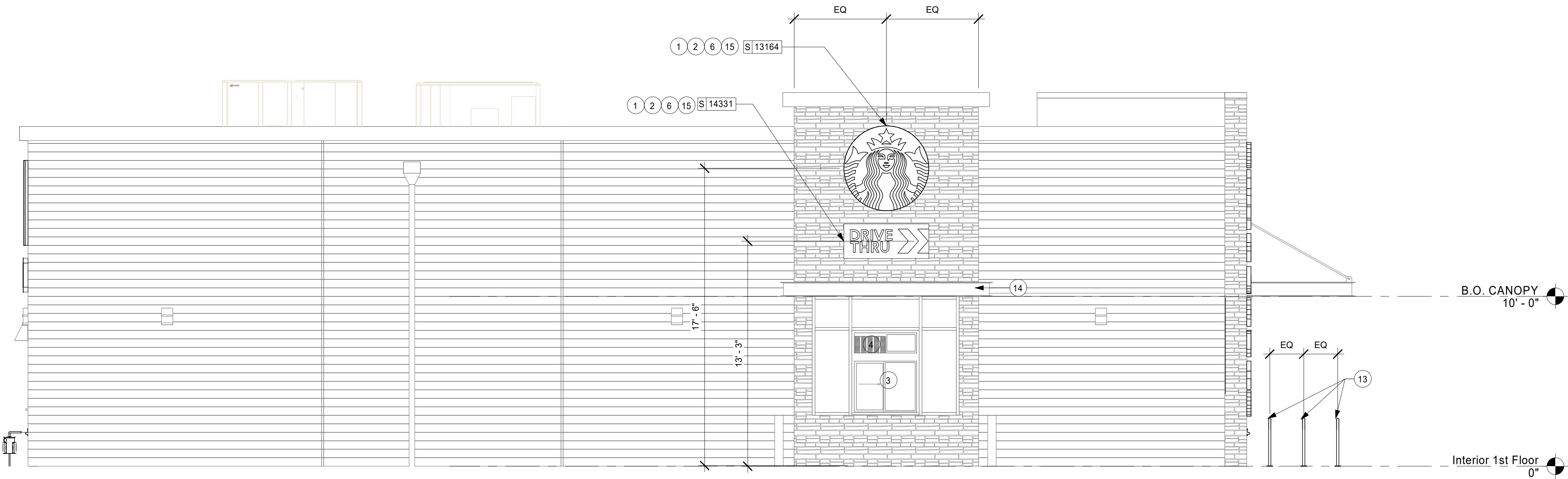


SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT BY OTHERS - SHOWN FOR REFERENCE ONLY.

DIMENSIONS OF BUILDING SHELL FOR REFERENCE ONLY



2 Exterior D
Scale: 1/4" = 1'-0"



1 Exterior C
Scale: 1/4" = 1'-0"

KEYED NOTES

- GC TO PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION OF J-BOX W/ SIGNAGE VENDOR PRIOR TO INSTALL.
- PROVIDE 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- LL TO FURNISH AND INSTALL TENANT SPECIFIED DRIVE THRU SERVICE WINDOW WITH ALL CONNECTIONS.
- LL TO FURNISH AND INSTALL AIR CURTAIN AND FLY FAN AT DRIVE THRU WINDOW.
- LL TO FURNISH AND INSTALL SECURITY LIGHT ABOVE SERVICE DOOR.
- SIGNAGE BY STARBUCKS.
- EXTERIOR LIGHT BY LL.
- ELECTRIC METER AND CT CABINET LOCATION.
- EXTERIOR TRELLIS BY LL.
- EXTERIOR FURNITURE, TYP.
- HOSE BIBB LOCATION.
- GAS METER. LOCATION.
- BIKE RACK BY LL.
- DRIVE-THRU CANOPY BY LL.
- SIGNAGE UNDER SEPARATE PERMIT. GC TO COORDINATE REQUIRED ATTACHMENT WITH GM AND SIGNAGE VENDOR.

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
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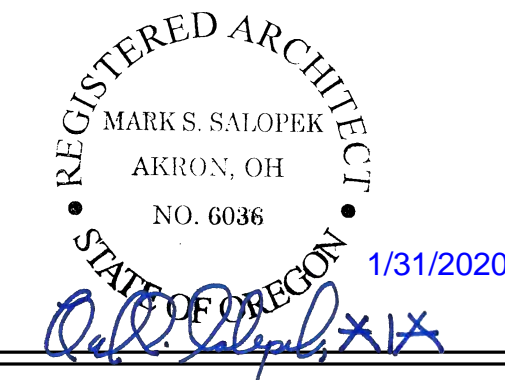
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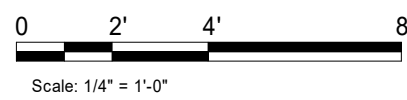
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STORE #: 60983
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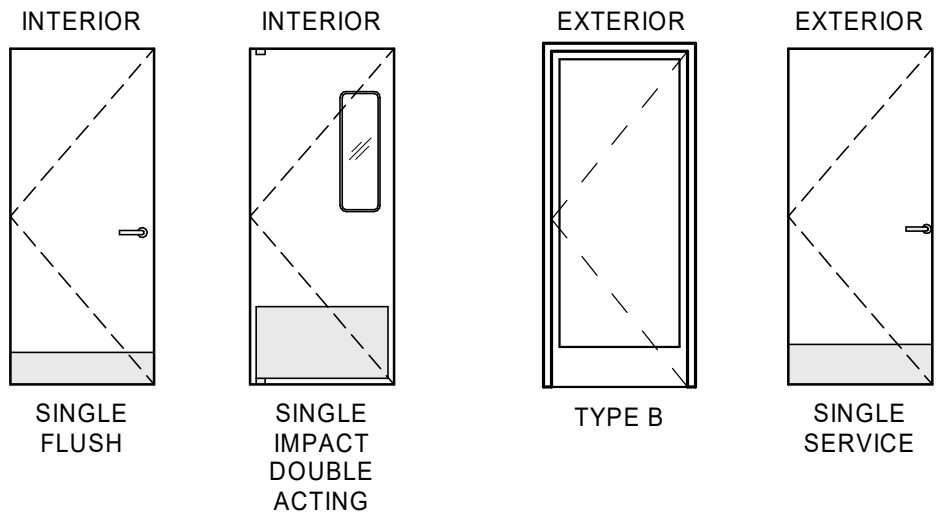
SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
A202



INTERIOR DOOR SCHEDULE - "D".								
DESIGN ID	MARK	DESCRIPTION	WIDTH	HEIGHT	HARDWARE SET	FURN BY	INST BY	COMMENTS
Exterior								
X10190	03	DOOR - HM SINGLE FLUSH - 42 IN - SINGLE SERVICE	3' - 0"	7' - 0"	42	LL	LL	
10205	01	DOOR - STOREFRONT METAL FRAME SINGLE - TYPE B	3' - 0"	7' - 0"	2	LL	LL	
10205	02	DOOR - STOREFRONT METAL FRAME SINGLE - TYPE B	3' - 0"	7' - 0"	2-A	LL	LL	
3								
Interior								
10190	04	DOOR - SINGLE FLUSH - 36IN	3' - 0"	7' - 0"	6	GC	GC	
10190	05	DOOR - SINGLE FLUSH - 36IN	3' - 0"	7' - 0"	6	GC	GC	
10086	06	DOOR - SINGLE IMPACT DOUBLE ACTING - 36IN 915MM	3' - 0"	7' - 0"	11	GC	GC	
3								

DOOR LEGEND



DOOR HARDWARE SET NO. 6 - For restroom door with lever and privacy lock					
No.	Item	Description	Manufacturer	Finish	
3	Hanging Items	TA2714/MPB79 Hinge MacPro Bearing 4.5 x 4.5	McKinney	626	
1	Securing Devices	PB5425LN Lock, Shallow Coin Turn, Privacy PB5425LN-693-497 1-3/4	Yale Lock	626	
1	Closing Devices	8916 Door Closer 8916 AF89P	Dorma	689	
2	Protective Trim Units	K1050 B4E Kickplate 8" x 34" Each Side 32D	Rockwood	630	
3	Accessories	GU64 Rubber Silencer	Glynn Johnson	Gray	
1	Stops and Holders	473 Door Stop w/ Hook	Rockwood	626	

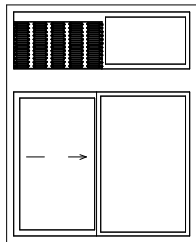
DOOR HARDWARE SET NO. 11 - For workroom door at backbar				
No.	Item	Description	Manufacturer	Finish
1	Traffic Door Package	SCP8 36" x 84"	Eliason	As Selected

DOOR HARDWARE SET NO. 2 - For new single aluminum main entry/exit door				
No.	Item	Description	Manufacturer	Finish
3	Hanging Devices	TH2314/MPB91	McKinney	630
1	Securing Devices	MS1851S Deadbolt	Adams Rite	628
1	Sign	Vinyl Sign: "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"	Seton	---
2	Securing Devices	C607 7-Pin Core Combinated "A" Keyway	Falcon Lock	626
1	Securing Devices	KB609-2 Cut Control Key "A" Keyway	Falcon Lock	---
9	Securing Devices	KB632-2 Cut User Key "A" Keyway	Falcon Lock	---
2	Securing Devices	C987 7-Pin Mortise Cylinder Housing w/AR Cam 26D	Falcon Lock	626
2	Securing Devices	AO8794-003 Adjustable Ring, Mortise Cyl. 5/16-13/32	Falcon Lock	626
1	Operating Trim	108 Door Pull Handle 32D	Rockwood	630
1	Operating Trim	48 Push Bar x 31	Rockwood	630
1	Closing Devices	8916 Door Closer 8916 AF89P	Dorma	689
1	Stops and Holders	473 Door Stop w/Hook	Rockwood	626
1	Threshold	325 Half Saddle Threshold	National Guard	---

DOOR HARDWARE SET NO. 2-A - For new single aluminum secondary entry/exit door (50 or more occupancy)				
No.	Item	Description	Manufacturer	Finish
3	Hanging Devices	TH2314/MPB91	McKinney	630
1	Securing Devices	CD35A-NL-OP Panic Device	Von Duprin	628/630
2	Securing Devices	C607 7-Pin Core Combinated "A" Keyway	Falcon Lock	626
1	Securing Devices	KB609-2 Cut Control Key "A" Keyway	Falcon Lock	---
9	Securing Devices	KB632-2 Cut User Key "A" Keyway	Falcon Lock	---
1	Securing Devices	C953 7-Pin Rim Cylinder Housing	Falcon Lock	626
1	Securing Devices	C987 7-Pin Mortise Cylinder Housing w/AR Cam	Falcon Lock	626
1	Securing Devices	A08794-003 Adjustable Ring, Mortise Cyl. 516-13/32	Falcon Lock	626
1	Operating Trim	108 Door Pull Handle	Rockwood	630
1	Closing Devices	8916 Door Closer 8916 AF89P	Dorma	689
1	Stops and Holders	473 Door Stop w/ Hook	Rockwood	626
1	Threshold	325 Half Saddle Threshold	National Guard	---
1	Sign	Vinyl Sign: "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"	Seton	---

WINDOW SCHEDULE - "W"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
WINDOW 14076	1	WINDOW - DT WITH SPLIT TRANSOM - 48X60IN 1205X1510MM - ALUMINUM	LL	LL	USE IN CONJUNCTION WITH AA100 FLYFAN

WINDOW LEGEND



GENERAL NOTES

- A. STARBUCKS VENDOR TO PROVIDE DOOR HARDWARE COMPONENTS. GC TO INSTALL.
- B. SEE SHEET A101 FOR TAGGED LOCATION OF EXTERIOR DOORS AND WINDOWS.
- C. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1014.2)
- D. PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1008.1.10):
- a) THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - b) THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - c) PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - d) PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - e) FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.



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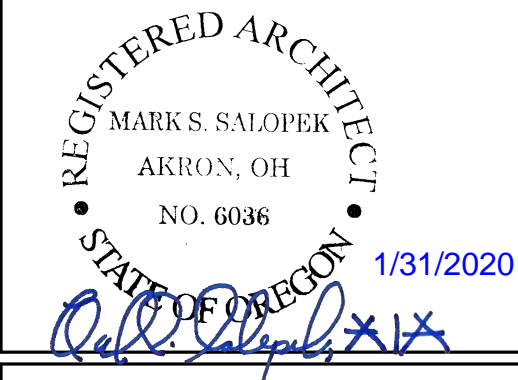
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STARBUCKS TEMPLATE VERSION: I2019-10-25



520 SOUTH MAIN ST., SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

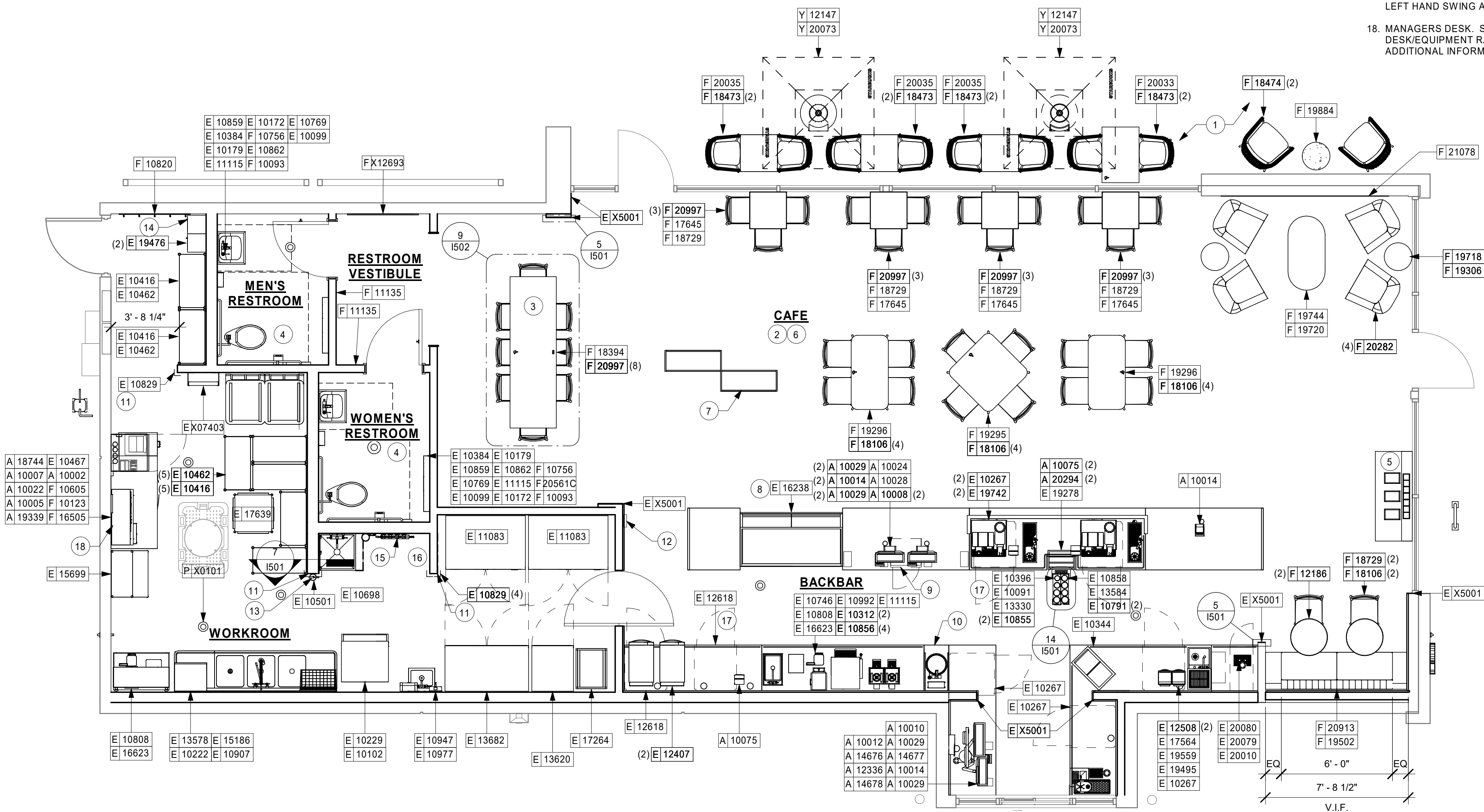
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**WINDOW AND DOOR
SCHEDULES & DETAILS**
SCALE: AS SHOWN

SHEET NUMBER:
A602



1 1ST FLOOR - FURNITURE, FIXTURES, AND EQUIPMENT PLAN
Scale: 1/4" = 1'-0"

KEYED NOTES

1. INSTALL EXTERIOR FURNITURE THROUGHOUT AS SHOWN.
2. INSTALL CAFE FURNITURE THROUGHOUT AS SHOWN.
3. COMMUNITY TABLE. SEE FURNITURE SCHEDULE.
4. REFER TO ENLARGED RESTROOM PLANS AND ELEVATIONS (SHEET I401) FOR FIXTURE LOCATION AND MOUNTING HEIGHTS
5. CONDIMENT CART. SEE INTERIOR FINISH ELEVATIONS.
6. PLACE MERCHANDISE FIXTURES AND RETAIL FLOOR BASKETS PER PLAN. STORE OPERATORS TO ORDER RETAIL FLOOR BASKETS.
7. MERCHANDISE DISPLAY. SEE DETAILS X/50X FOR MORE INFORMATION. ALIGN FRONT OF MERCH. BAYS WITH STOREFRONT DOOR FRAME. CENTER MERCH. BAYS WITH CENTERLINE OF WALL BEHIND.
8. DO NOT BLOCK FOOD CASE INTAKE/EXHAUST.
9. SAFE LOCATED AT POS CABINET. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
10. HAND SINK W/ INTEGRAL SPLASH GUARD.
11. INSTALL CORNER GUARD AS INDICATED. SEE INTERIOR FINISH ELEVATIONS.
12. LOCATION OF SWITCHES AND THERMOSTAT CONTROLS.
13. LOCATION OF FIRE EXTINGUISHER.
14. SECURE LOCKERS TO WALL.
15. VENDOR TO INSTALL WATER FILTRATION SYSTEM PER MANUFACTURER'S REQUIREMENTS. G.C. TO PROVIDE PLUMBING AND ELECTRICAL REQUIREMENTS.
16. WATER HEATER LOCATED ABOVE. SEE PLUMBING DRAWINGS.
17. G.C. TO REVERSE HINGE ON U.C. REFRIGERATOR TO LEFT HAND SWING AS SHOWN.
18. MANAGERS DESK. SEE MANAGER'S DESK/EQUIPMENT RACK ELECTRICAL DETAIL FOR ADDITIONAL INFORMATION.

GENERAL NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- B. THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- D. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- E. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- F. ALL EQUIPMENT AND CABINETRY WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- G. CONFIRM ALL NECESSARY EQUIPMENT CLEARANCES PER PRODUCT CUT SHEET (E.G. ICE MACHINE).
- H. FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- I. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- J. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- K. EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- L. FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- M. SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- N. PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE LOCAL JURISDICTION.



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STARBUCKS TEMPLATE VERSION: (2019-10-25)



520 SOUTH MAIN ST., SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20

REGISTERED ARCHITECT
MARK S. SALOPEK
AKRON, OH
NO. 6036

1/31/2020
Mark Salopek

PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
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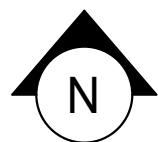
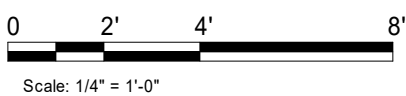
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
FF & E PLAN

SCALE: AS SHOWN

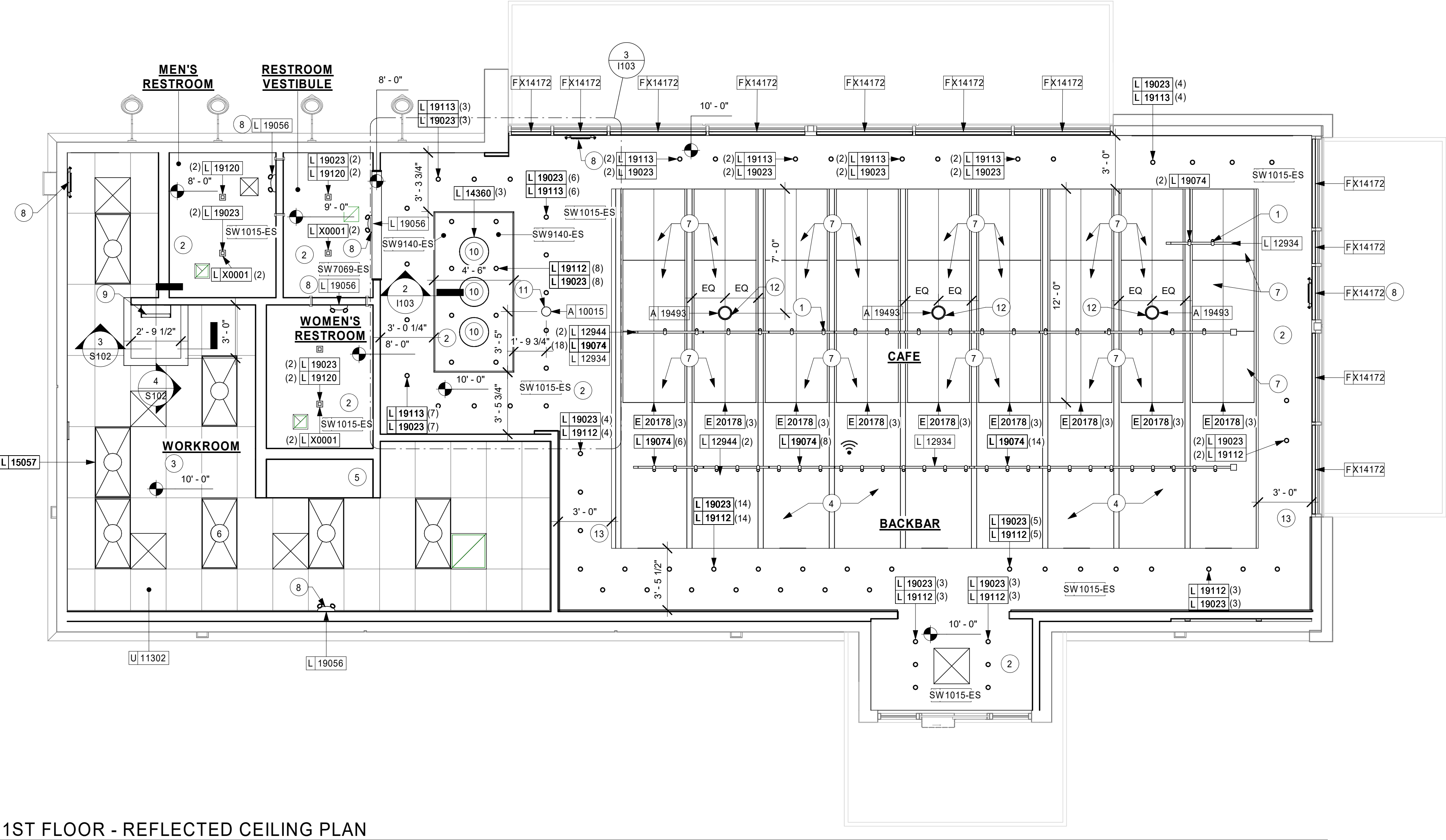
SHEET NUMBER:

1101



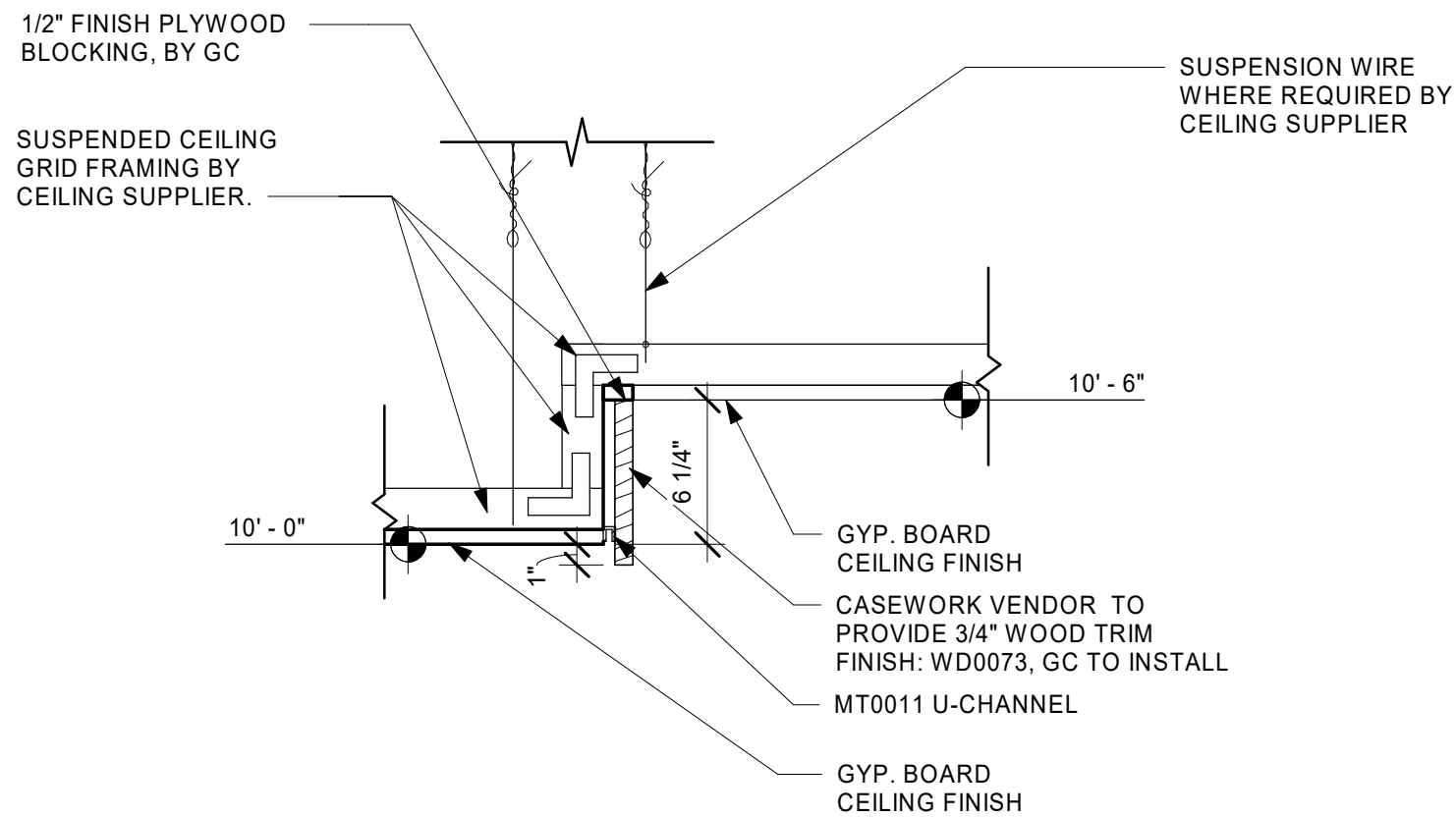
1102

1 1ST FLOOR - REFLECTED CEILING PLAN



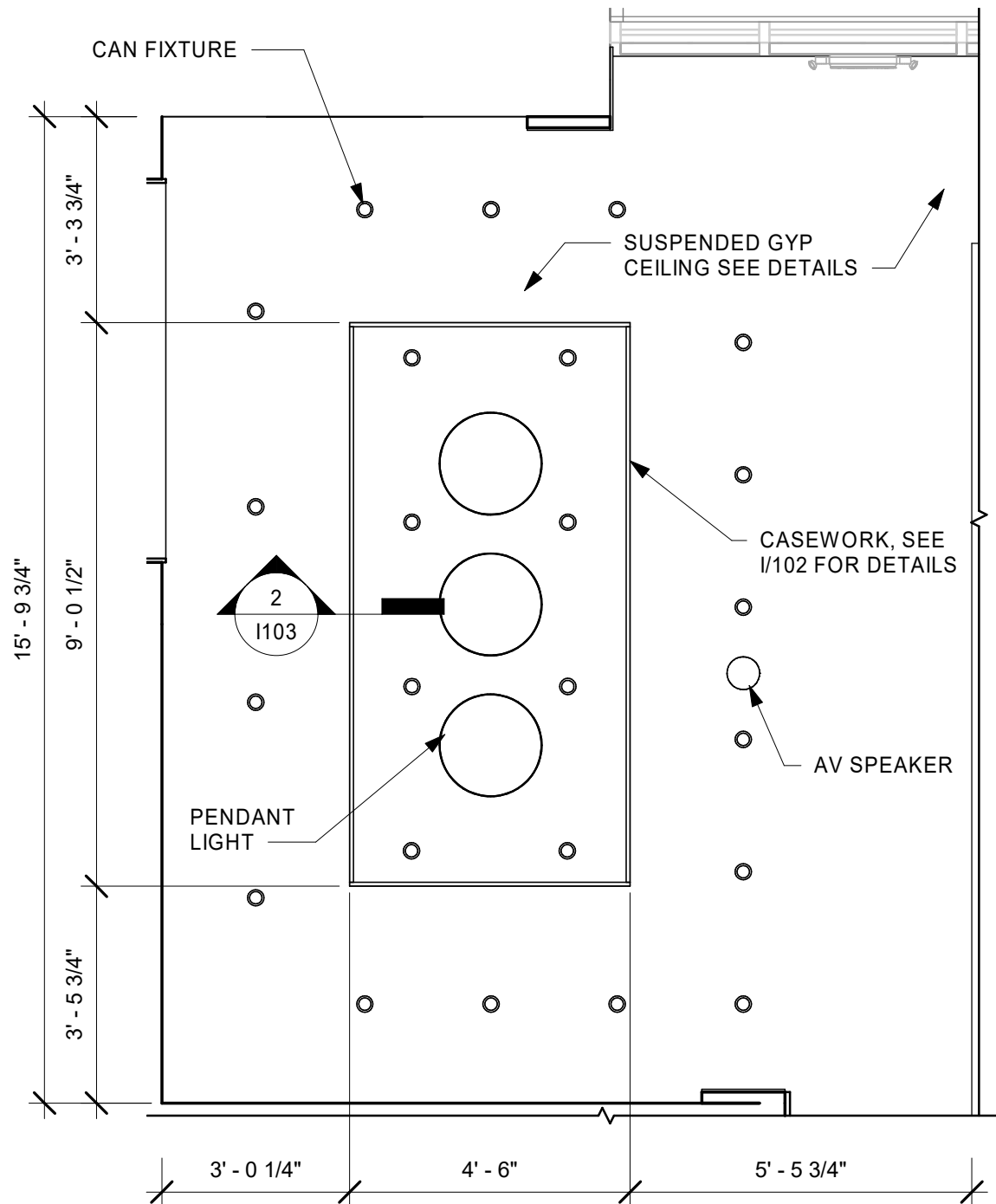
2 COMMUNITY TABLE CEILING CASEWORK

Scale: 1 1/2" = 1'-0"



3 COMMUNITY TABLE SOFFIT DIMENSIONS

Scale: 3/8" = 1'-0"



GENERAL NOTES

- IF REQUIRED BY LOCAL CODE, GENERAL CONTRACTOR TO PROVIDE SEMI-RECESSED SPRINKLER HEADS WITH POLISHED CHROME ESCUTCHEONS CENTERED IN ACOUSTICAL CEILING TILE. IF PENDANT HEADS ARE REQUIRED IN GWB SOFFIT OVER FRONTBAR, CONCEAL SUPPLY PIPING WITHIN SOFFIT. GENERAL CONTRACTOR TO SUBMIT SPRINKLER LAYOUT TO STARBUCKS' CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- LEAVE TEN (10) ADDITIONAL RETAIL CEILING TILES TO MATCH RETAIL CEILING PAINT COLOR ABOVE THE WORKROOM CEILING AT MANAGER'S DESK FOR FUTURE USE.
- PROVIDE GROMMET AT ACOUSTIC CEILING PENETRATIONS FOR FIXTURES OF SUPPORTS.
- HEATING, VENTILATING AND AIR CONDITIONING SHOWN ON THIS PLAN PROVIDED FOR REFERENCE ONLY. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- DIFFUSERS AND RETURNS IN ACOUSTICAL CEILING TILE TO BE CENTERED IN TILE AND PAINTED TO MATCH ADJACENT FINISHES (TYP.).
- PAINT ALL EXPOSED HVAC DUCTS, HVAC DIFFUSERS, LIGHT TRIM RINGS, PIPING, CONDUIT AND JUNCTION BOXES THE SAME COLOR AS SPECIFIED ON SURROUNDING CEILING OR SOFFIT UNLESS OTHERWISE NOTED. TYPICAL THROUGHOUT RETAIL AREA OF STORE.
- PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS' NATIONAL ACCOUNT "COLOR CODE" WHEN ORDERING PAINTS.
- DATA CABLING ABOVE HEAD SHALL BE IN PLENUM WHEN AVAILABLE.
- DATA CABLING AT EXPOSED CEILING SHALL BE INSTALLED IN METAL CONDUIT OR PER LOCAL CODE REQUIREMENT.

KEYED NOTES

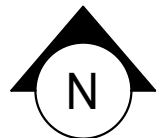
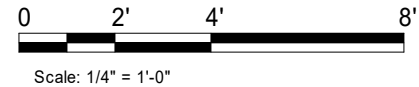
- BOTTOM OF TRACK TO BE 14' - 3"
- GWB CEILING. PAINT CEILING DIFFUSERS AS INDICATED.
- WASHABLE CEILING TILE LOCATED IN BACK OF HOUSE
- OPEN TO STRUCTURE ABOVE. PAINT BOTTOM OF DECK AND TRUSSES SW9140-ES
- PLATFORM FOR HEATER AND WATER FILTRATION. PROVIDE SOFFIT AND LIFT CEILING THIS AREA ONLY TO INSURE ADEQUATE CLEARANCE FOR SERVICING.
- 2X4 LIGHT TROFFER, SEE ELECTRICAL, TYP.
- ACOUSTIC PANEL. ATTACHED TO DECKING. PAINTED SW9140-ES. PANEL NOT TO EXTEND PAST FACE OF BAR BELOW
- EXIT LIGHTING. SEE ELECTRICAL, TYP.
- ROOF LADDER AND ACCESS HATCH TO BE PROVIDED BY LANDLORD - COORDINATE INSTALLATION.
- PENDANT LIGHTING - SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHT
- MOUNT CEILING SPEAKER FLUSH WITH CEILING
- PENDANT SPEAKER, MOUNTED 15'-0" A.F.F.
- COORDINATE SOFFIT EXTENT BASED ON DETAIL AT TRUSS

LEGEND

- ELEVATION DATUM
- TRACK LIGHTING
- PENDANT LIGHT
- RECESSED CAN LIGHT
- TROFFER
- EXIT SECURITY LIGHT
- MUSIC SYSTEM PENDANT SPEAKER
- WIFI ACCESS POINT (WAP)

RESPONSIBILITY LEGEND

- GC GENERAL CONTRACTOR
- LL LANDLORD
- SB STARBUCKS



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STARBUCKS TEMPLATE VERSION: (2019-10-25)



520 SOUTH MAIN ST., SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

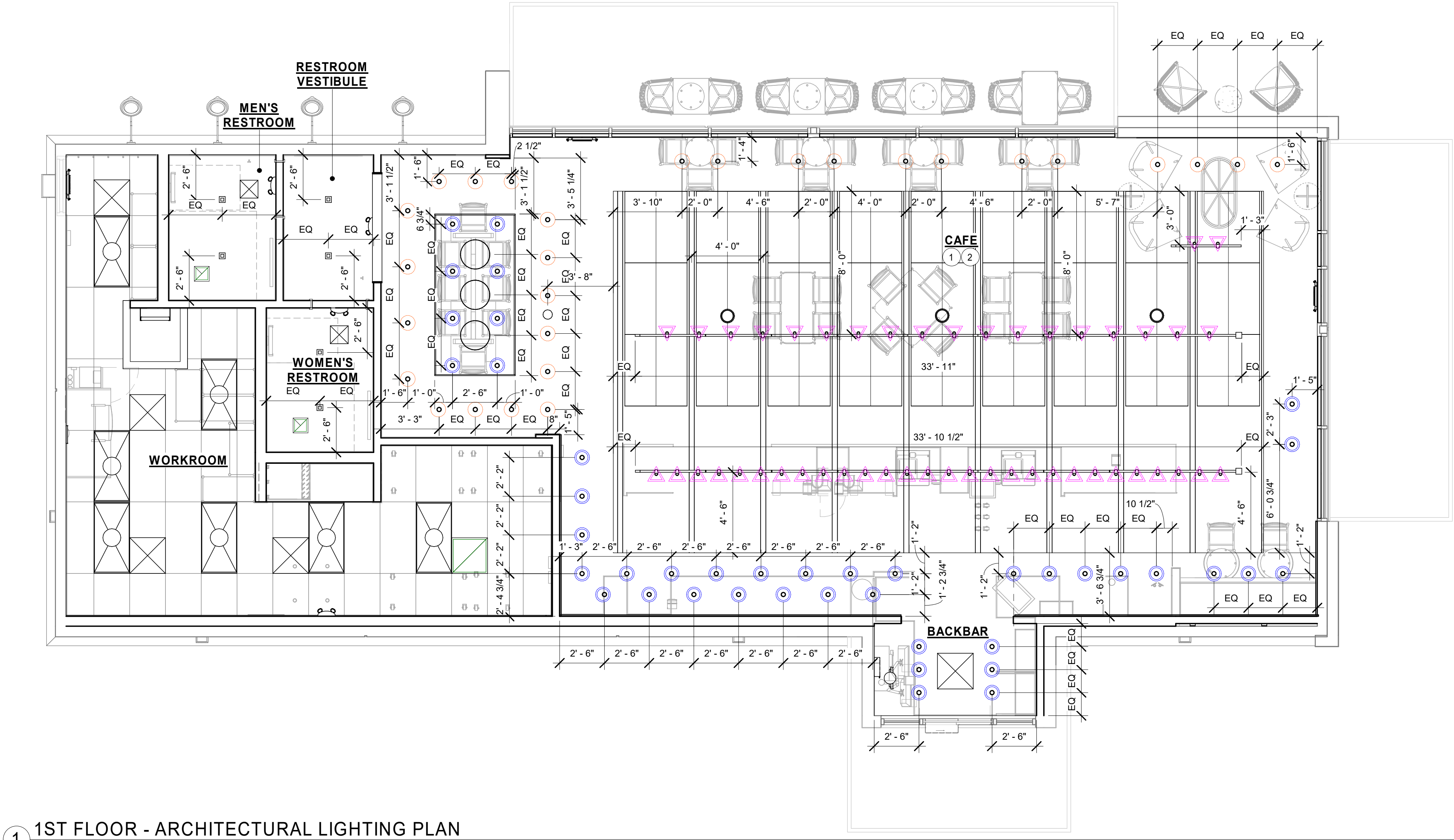
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**REFLECTED CEILING
PLAN**

SCALE: AS SHOWN

SHEET NUMBER:
1103

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1 1ST FLOOR - ARCHITECTURAL LIGHTING PLAN
Scale: 1/4" = 1'-0"

LIGHTING PLAN NOTES

- A. IF REQUIRED BY LOCAL CODE, GENERAL CONTRACTOR TO PROVIDE SEMI-RECESSED SPRINKLER HEADS WITH POLISHED CHROME ESCUTCHEONS CENTERED IN ACOUSTICAL CEILING TILE. IF PENDANT HEADS ARE REQUIRED IN GYPSUM SOFFIT OVER FRONTBAR, CONCEAL SUPPLY PIPING WITHIN SOFFIT. GENERAL CONTRACTOR TO SUBMIT SPRINKLER LAYOUT TO STARBUCKS' CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- B. GENERAL CONTRACTOR TO PROVIDE AND LOCATE SPRINKLERS PER LOCAL CODES. CONTACT STARBUCKS CONSTRUCTION MANAGER IF DESIGN INTENT IS AFFECTED.
- C. WHERE ACOUSTICAL CEILING MEETS WALL, PROVIDE ANGLE WALL MOLDING FOR REVEAL. MATCH CEILING GRID COLOR WHEN APPLICABLE.
- D. LEAVE (10) ADDITIONAL RETAIL CEILING TILES, TO MATCH RETAIL CEILING PAINT COLOR, ABOVE THE WORKROOM CEILING AT MANAGER'S DESK FOR FUTURE USE.
- E. PROVIDE GROMMET AT ALL CEILING PENETRATIONS FOR FIXTURES OR SUPPORTS.
- F. HEATING, VENTILATING, AND AIR CONDITIONING (HVAC) SHOWN FOR DESIGN INTENT ONLY. CONTACT PROJECT MANAGER IF CHANGED.
- G. DIFFUSERS AND RETURNS AT BACKBAR IN ACOUSTICAL CEILING TILE TO BE CENTERED IN TILE, PAINTED TO MATCH ADJACENT FINISHES, TYPICAL.
- H. PAINT ALL EXPOSED HVAC DUCTS, HVAC DIFFUSERS, RECESSED SPEAKERS, LIGHT TRIM RINGS, PIPING, CONDUIT AND JUNCTION BOXES THE SAME COLOR AS SPECIFIED ON SURROUNDING CEILING OR SOFFIT UNLESS NOTED OTHERWISE. TYPICAL THROUGHOUT RETAIL AREA OF STORE.
- J. PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS' NATIONAL ACCOUNT "COLOR CODE" WHEN ORDERING PAINTS.
- K. SEE LIGHTING DESIGN PLAN FOR LIGHTING SCHEDULE, FIXTURE TYPES AND DIMENSIONED LOCATIONS.
- L. ADJUST EACH TRACK HEAD AT MENU BOARD LIGHTING SO LIGHT BEAMS ARE POINTING CONSISTENTLY, JUST BELOW THE CENTER OF EACH MENU BOARD PANEL.. ADJUST FOCUS OF ALL TRACK AND RECESSED DIRECTIONAL LIGHTING TO FULLY ILLUMINATE ALL ARTWORK, MENU BOARDS, AND MERCHANDISE BAYS.
- M. ALL FIXTURES IN FOOD PREPARATION AREA SHALL HAVE SHATTERPROOF LAMPS IF THE FIXTURE IS NOT LENSED.
- N. CENTER EMERGENCY/EXIT LIGHTS ABOVE DOORS, UON.

SHEET NOTES

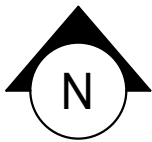
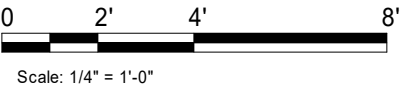
- 1. OPEN STRUCTURE ABOVE
- 2. EXPOSED STRUCTURE AND DUCTWORK TO BE PAINTED AS SCHEDULED

LIGHTING LEGEND

- TRACK HEAD: FLOOD (2" HOUSING DID 19074)
- CAN FIXTURE: SPOT (2", DID 19112)
- CAN FIXTURE: NARROW FLOOD (2" DID 19113)

RESPONSIBILITY LEGEND

- GC GENERAL CONTRACTOR
- LL LANDLORD
- SB STARBUCKS



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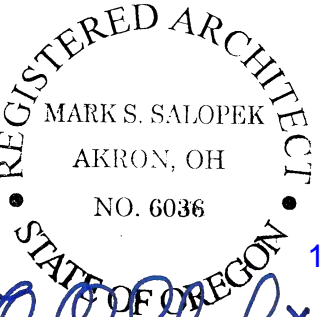
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STARBUCKS TEMPLATE VERSION: I2019-10-25



520 SOUTH MAIN ST, SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
101, COOS BAY VILLAGE
COOS BAY, OR 97420

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
LIGHTING PLAN

SCALE: AS SHOWN

SHEET NUMBER:
I103B

1/30/2020 10:55:22 AM C:\Users\slawhl\Documents\0983_OR_HWY 101_Coos Bay (WORKSHARE)_awahl.rvt

CONCRETE FINISH NOTES

FINISHING PROCESS FOR CONCRETE SLAB

- INTEGRAL GRINDING WILL BEGIN AT A MINIMUM OF 36 HYBRID BOND DIAMOND GRIT. AFTER A UNIFORM SCRATCH PATTERN HAS BEEN DEVELOPED IN THE SURFACE OF THE CONCRETE, BEGIN GRINDING THE FLOOR UP TO A DIAMOND GRIT ACCEPTABLE FOR DENSIFYING. LEVEL OF FINISH TO BE [OPEN AGGREGATE, SALT & PEPPER, LIGHT SAND]. GC TO HAND GRIND OR USE A STAND-UP EDGER FOR GRINDING/POLISHING EDGE AND INSIDE CORNER CONDITIONS.
- CLEAN FLOOR WITH VEXCON CERTI-SHINE CLEAR DENSIFIER APPLIED IN MULTIPLE COATS.
- AFTER THE DENSIFIER HAS CURED, RINSE THE FLOOR WITH VEXCON CERTI-SHINE FIXATIVE, REMOVING UN-REACTED SILICATES FROM THE SURFACE OF THE CONCRETE AND IMPROVING THE CHEMICAL AND STAIN RESISTANCE OF THE POLISHED CONCRETE SYSTEM.
- ONCE THE RINSE HAS BEEN COMPLETED CONTINUE POLISHING THE FLOOR UP TO A 400 GRIT POLISH.
- CLEAN FLOOR AGAIN AND APPLY A VEXCON CERTISHINE FINISH COAT ULTRA WB IN MULTIPLE COATS. ALLOWING FOR OPTIMAL PENETRATION.
- AFTER THE STAIN PROTECTANT HAS CURED, BURNISH THE FLOOR WITH A HIGH SPEED BUFFER.

POLISHING PROCEDURE :

- ADHERE TO INDUSTRY STANDARD POLISHING PROCEDURES FOR DRY AND WET GRINDING/POLISHING IS ACCEPTABLE WHEN INDUSTRY STANDARD POLISHING PROCEDURES ARE ADHERED TO.
- SCRUB AND RINSE SLAB SURFACE WITH CLEAN WATER AND VACUUM WITH AUTO-SCRUBBER BETWEEN AND AFTER FINAL POLISHING PASSES..
- SEQUENTIAL PROGRESSION OF DIAMOND POLISHING STEPS SHALL BE REQUIRED AND LIMITED TO NO MORE THAN DOUBLE THE GRIT VALUE OF THE PREVIOUS DIAMONDS USED.
- OVERLAP ADJACENT POLISHING PASSES BY 25 PERCENT
- PERFORM EACH PASS PERPENDICULAR TO THE OTHER PASS NORTH/SOUTH THEN EAST/WEST; MULTIPLE PASSES MAY BE NEEDED.
- PROGRESSIVELY GRIND AND POLISH THE SLAB SURFACE UTILIZING APPROVED DIAMOND SEGMENTS AS NECESSARY TO PRODUCE FINISHING REQUIREMENTS.

PREPARATION :

- Clean dirt, dust, oil, grease and other contaminants that interfere with penetration or performance of specified product from surfaces. Use appropriate concrete cleaners approved by the concrete surface treatment manufacturer where necessary. Rinse thoroughly using pressure water spray to remove cleaner residues. Allow surfaces to dry completely before application of product.
- Repair, patch and fill cracks, voids, defects and damaged areas in surface as approved by the Architect. Allow repair materials to cure completely before application of product.
- Variations in substrate texture and color will affect final appearance and should be corrected prior to application of sealer/hardener system and the polishing steps.
- Protect surrounding areas prior to application of densifiers and stains. If products are accidentally misapplied to adjacent surfaces, flush with water immediately before material dries.
- Avoid contact in areas not to be treated. Avoid contact with metal, glass and painted surfaces.
- Apply specified sealants and caulking and allow complete curing before application of penetrating concrete hardener/densifier.
- Test surfaces with droplets of water. If water beads and does not penetrate surface, or penetrates only in some areas, profile surfaces by grinding, sanding, or abrasive blasting. Retest and continue profiling surface until water droplets immediately darken and uniformly penetrate concrete surfaces.

KEYED NOTES

1. FLOOR SINK LOCATION. SEE BUILDING FLOOR PENETRATION PLAN ON SHEET A102 AND PLUMBING FOR ADDITIONAL INFORMATION.
2. RECESSED WALK-OFF MAT AT ENTRY. SEE INTERIOR DETAIL SHEETS FOR TRANSITION.
3. MOP SINK WHERE INDICATED. SEE PLUMBING PLANS FOR MORE INFORMATION.
4. GREASE INTERCEPTOR, SEE PLUMBING PLANS FOR MORE INFORMATION.

GENERAL NOTES

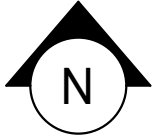
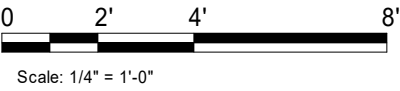
- A. WORKROOM TO BE FINISHED PER LOCAL CODE REQUIREMENTS.
- B. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE; SEMI-GLOSS OR HIGH-GLOSS FINISH.
- C. STARBUCKS TO SUPPLY FLOORING AND BASE FOR FRONT AND BACK OF HOUSE AS NOTED IN SCHEDULES. GENERAL CONTRACTOR TO INSTALL. GENERAL CONTRACTOR TO SUPPLY WORKROOM TILE AND BASE AND INSTALL. GENERAL CONTRACTOR TO SUPPLY AND INSTALL MORTAR, ADHESIVE, AND GROUT. GENERAL CONTRACTOR TO INSPECT ALL TILES AND REJECT DAMAGED OR SUBSTANDARD TILES PRIOR TO INSTALLATION.
- D. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- E. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.

LEGEND

- INDICATES LAMINATE MOTTLED BLACK (DID : PL019)*
- INDICATES FULL HEIGHT FRP PANELING ABOVE TILE BASE (WHITE FRP -DID: 11469)*
- INDICATES WALL COVERING - RUSHMORE 2VRM-14 GEMSTONE ABOVE TILE BASE (DID : X2000)*
- INDICATES RESTROOM WALL TILE PRO ARCHITECTURA GREY- 4X12IN ABOVE TILE BASE (DID : 14744)**
- INDICATES PAINT SW7069 - IRON ORE ABOVE TILE BASE (DID : SW7069-ES)*
- INDICATES WOOD CLADDING OVER TALL BACKSPLASH (WD0073)*
- INDICATES TILE BASE 6X12IN (DID : 14770) GRAPHITE
- INDICATES METAL END CAP (MT0011).
- INDICATES METAL BASE (MT0011).
- INDICATES STAINLESS STEEL CORNER GUARD FOR BOH OR HOT ROLLED STEEL CORNER GUARD FOR CAFE SPACE. INSTALL 6" (150mm) TO 42" (1065mm) A.F.F. UNLESS OTHERWISE NOTED.
- *SEE INTERIOR FINISH ELEVATIONS FOR TAGGED LOCATION OF WALL FINISH MATERIAL.
- **SEE RESTROOM PLAN & ELEVATIONS FOR TAGGED LOCATION OF WALL FINISH MATERIAL

RESPONSIBILITY LEGEND

- GC GENERAL CONTRACTOR
- LL LANDLORD
- SB STARBUCKS



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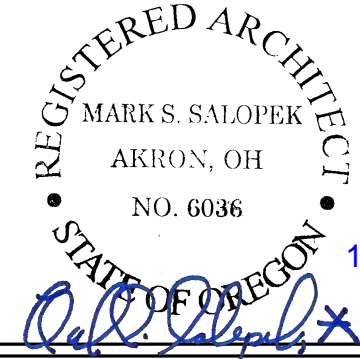
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STARBUCKS TEMPLATE VERSION: I2019-10-25



520 SOUTH MAIN ST, SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

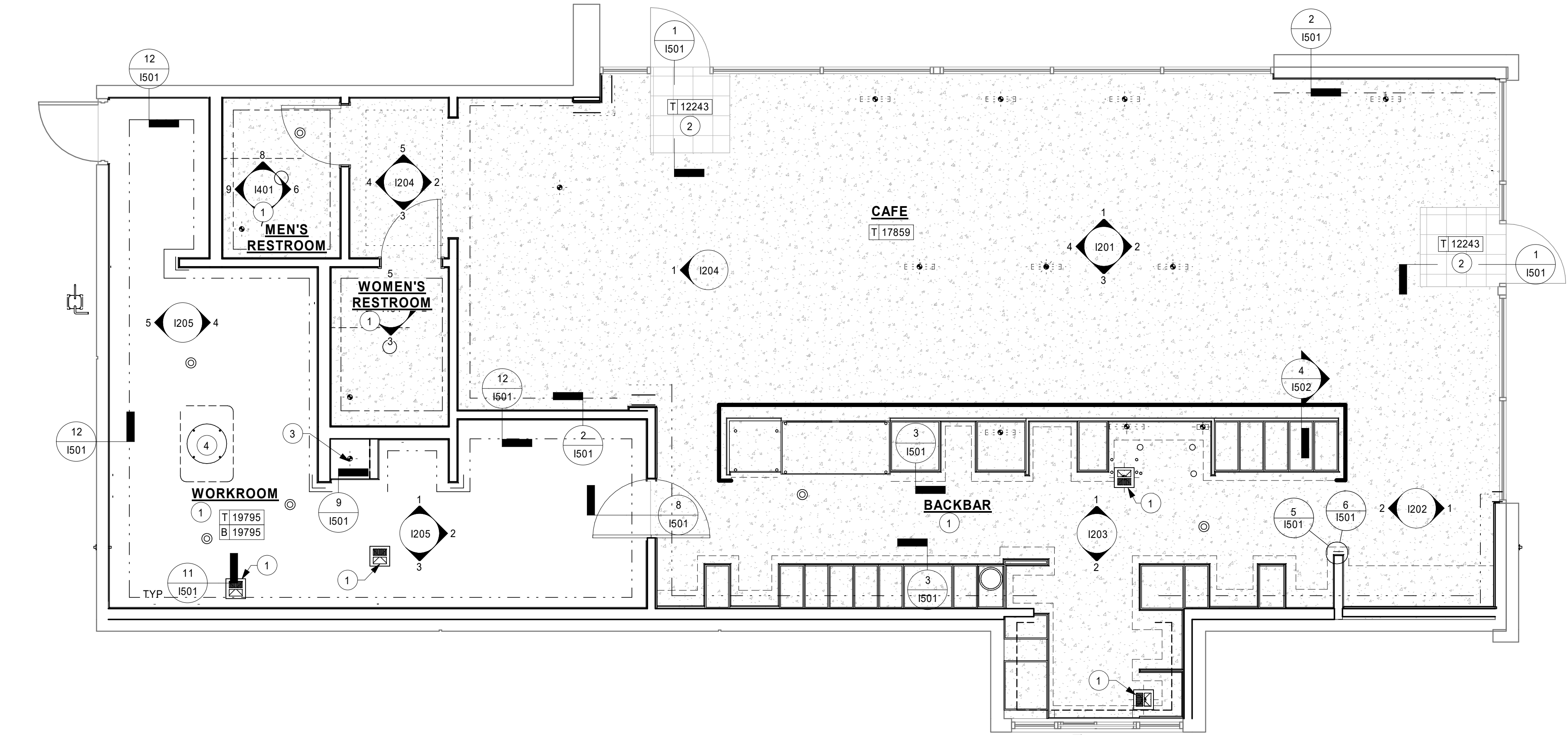
STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
INTERIOR FINISH PLAN

SCALE: AS SHOWN

SHEET NUMBER:
1104



1 1ST FLOOR - FLOOR FINISH PLAN
Scale: 1/4" = 1'-0"

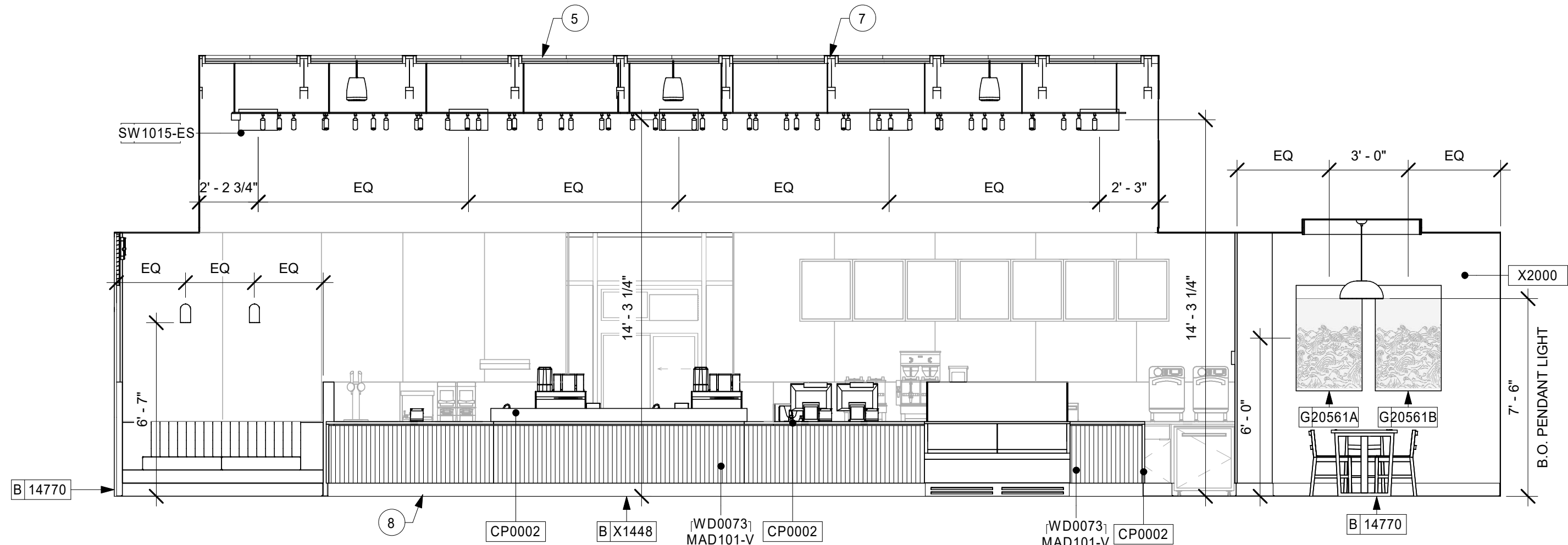
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KEYED NOTES

1. WINDOW SHADES. TYP.
2. SHELVING FOR CBE STATION AS SHOWN. G.C. TO PROVIDE WALL BLOCKING FOR FASTENERS.
3. CUP DISPENSERS. SEE FF & E PLAN ON SHEET I101 FOR ADDITIONAL INFORMATION.
4. WALL FINISH BEHIND EXPOSED CABINETRY AND BELOW UNDERSIDE OF COUNTERTOP SUBSTRATE TO BE FRP.
5. ACOUSTIC PANEL. ATTACHED TO DECKING. PAINTED SW9140-ES. PANEL NOT TO EXTEND PAST FACE OF BAR BELOW
6. PENDANT LIGHT FIXTURE (SEE REFLECTED CEILING PLAN ON SHEET I103 AND LIGHTING PLAN ON SHEET E102 FOR ADDITIONAL INFORMATION).
7. EXPOSED STRUCTURE TO BE PAINTED AS SCHEDULED
8. METAL BASE LOCATED AT FRONTBAR AT CAFE SIDE ONLY.

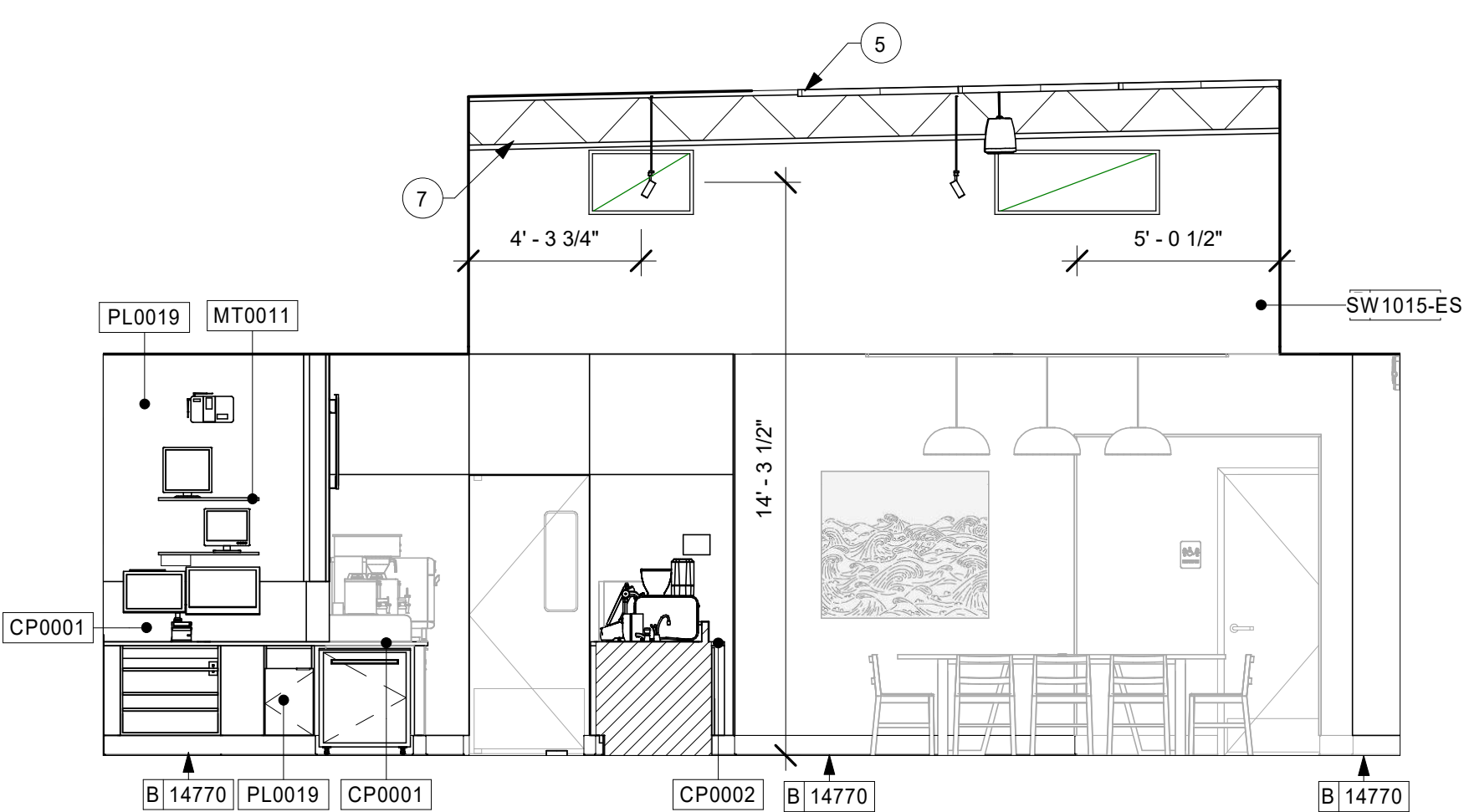
GENERAL NOTES

- A. FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET I601.
- B. REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
- C. CHANGE PAINT COLOR ONLY AT INSIDE CORNERS UNLESS OTHERWISE INDICATED.
- D. PAINT FINISHES SHALL BE APPLIED AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - 1) WOODS AND METAL SURFACES SHALL BE SEMI-GLOSS OR EQUAL.
 - 2) ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.
 - a. WALL AND CEILING PAINTS TO BE EGGSHELL OR EQUAL.
 - 3) PAINTS IN BOH, RESTROOM(S) OR CAFE BAR SHALL BE SEMI-GLOSS OR EQUAL.
- E. PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS NATIONAL ACCOUNT COLOR CODE WHEN ORDERING PAINTS.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE, SEMI-GLOSS OR HIGH GLOSS FINISH.
- G. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETRY) SHALL BE SEALED.
- H. REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET I102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- I. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- J. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- K. ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
- L. INSTALL BLOCKING AND HANGERS FOR WALL SHELVING BEFORE INSTALLING BACK BAR TILE.
- M. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WORKROOM WALL FINISHES.



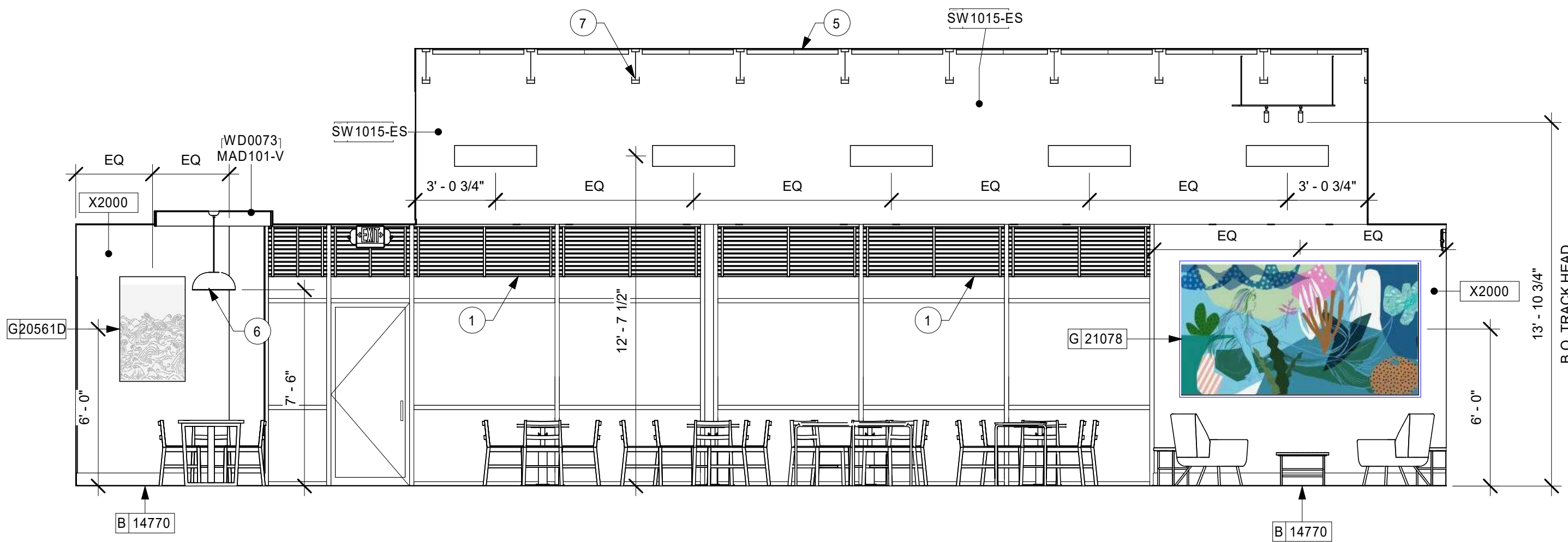
3 FRONT BAR-CUSTOMERS SIDE

Scale: 1/4" = 1'-0"



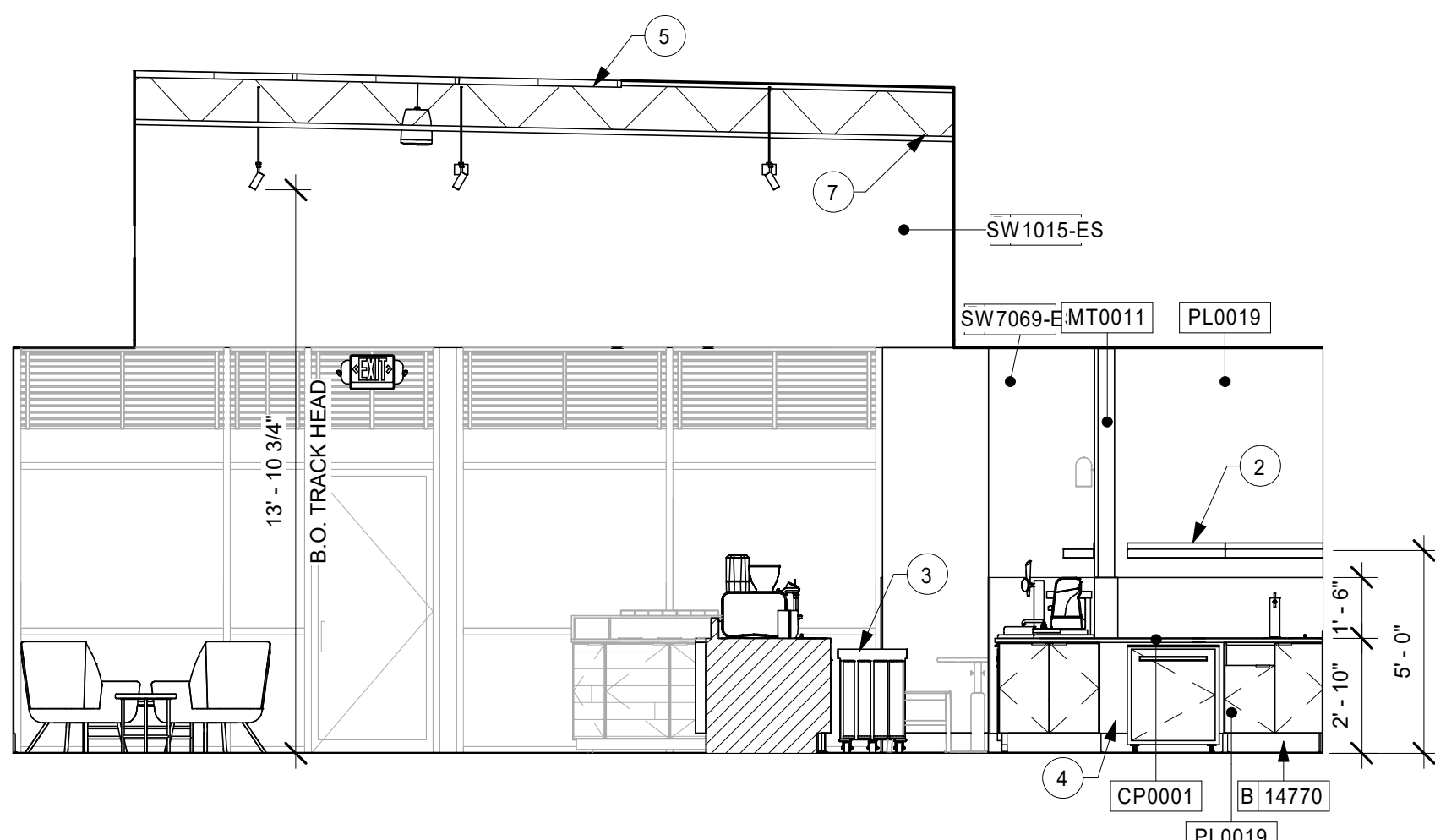
4 DT POS - COMMUNITY TABLE

Scale: 1/4" = 1'-0"



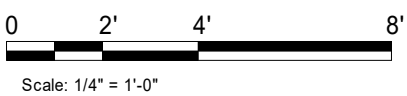
1 CAFE

Scale: 1/4" = 1'-0"



2 CAFE - CONDIMENT-BACKBAR

Scale: 1/4" = 1'-0"



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STARBUCKS TEMPLATE VERSION: I2019-10-25



520 SOUTH MAIN ST, SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20

REGISTERED ARCHITECT
MARK S. SALOPEK
AKRON, OH
NO. 6036

1/31/2020
Mark Salopek

PROJECT NAME:
HWY 101 - COOS BAY

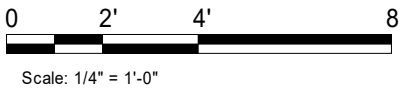
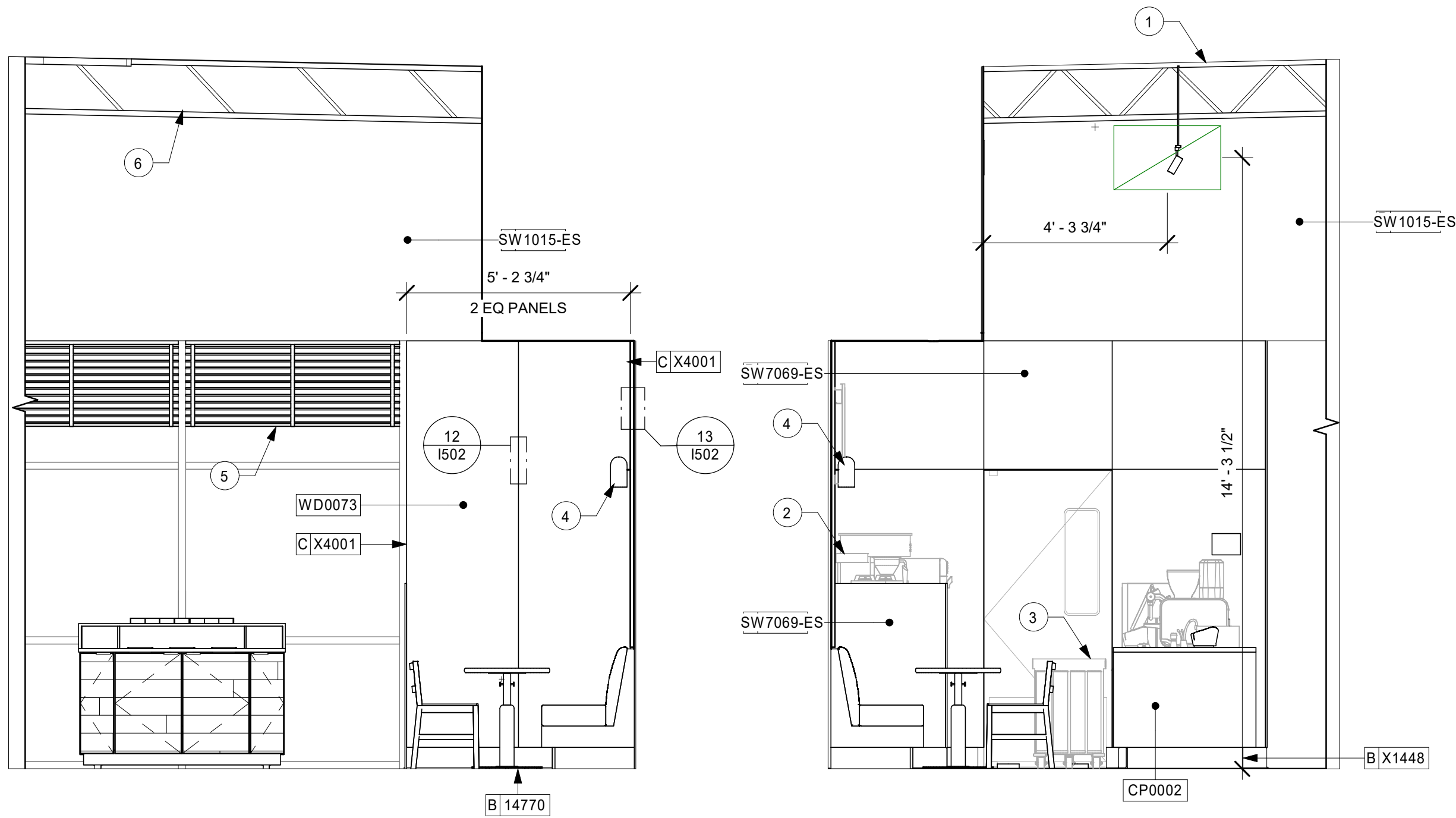
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**INTERIOR FINISH
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
I201



KEYED NOTES

1. ACOUSTIC PANEL, ATTACHED TO DECKING, PAINTED SW9140-ES. PANEL NOT TO EXTEND PAST FACE OF BAR BELOW
2. SHELVING FOR CBE STATION AS SHOWN. G.C. TO PROVIDE WALL BLOCKING FOR FASTENERS.
3. CUP DISPENSERS. SEE FF & E PLAN ON SHEET I101 FOR ADDITIONAL INFORMATION.
4. WALL SCONCE LIGHT FIXTURE (SEE REFLECTED CEILING PLAN ON SHEET I103 AND LIGHTING PLAN ON SHEET E102 FOR ADDITIONAL INFORMATION).
5. WINDOW SHADES. TYP.
6. EXPOSED STRUCTURE TO BE PAINTED AS SCHEDULED

GENERAL NOTES

- A. FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET I601.
- B. REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
- C. CHANGE PAINT COLOR ONLY AT INSIDE CORNERS UNLESS OTHERWISE INDICATED.
- D. PAINT FINISHES SHALL BE APPLIED AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - 1) WOODS AND METAL SURFACES SHALL BE SEMI-GLOSS OR EQUAL.
 - 2) ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.
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- E. PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS NATIONAL ACCOUNT COLOR CODE WHEN ORDERING PAINTS.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE; SEMI-GLOSS OR HIGH GLOSS FINISH.
- G. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETRY) SHALL BE SEALED.
- H. REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET I102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- I. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- J. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- K. ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
- L. INSTALL BLOCKING AND HANGERS FOR WALL SHELVING BEFORE INSTALLING BACK BAR TILE.
- M. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WORKROOM WALL FINISHES.



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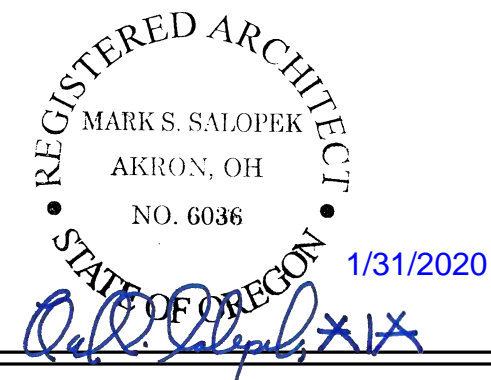
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STARBUCKS TEMPLATE VERSION: I2019-10-25



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GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

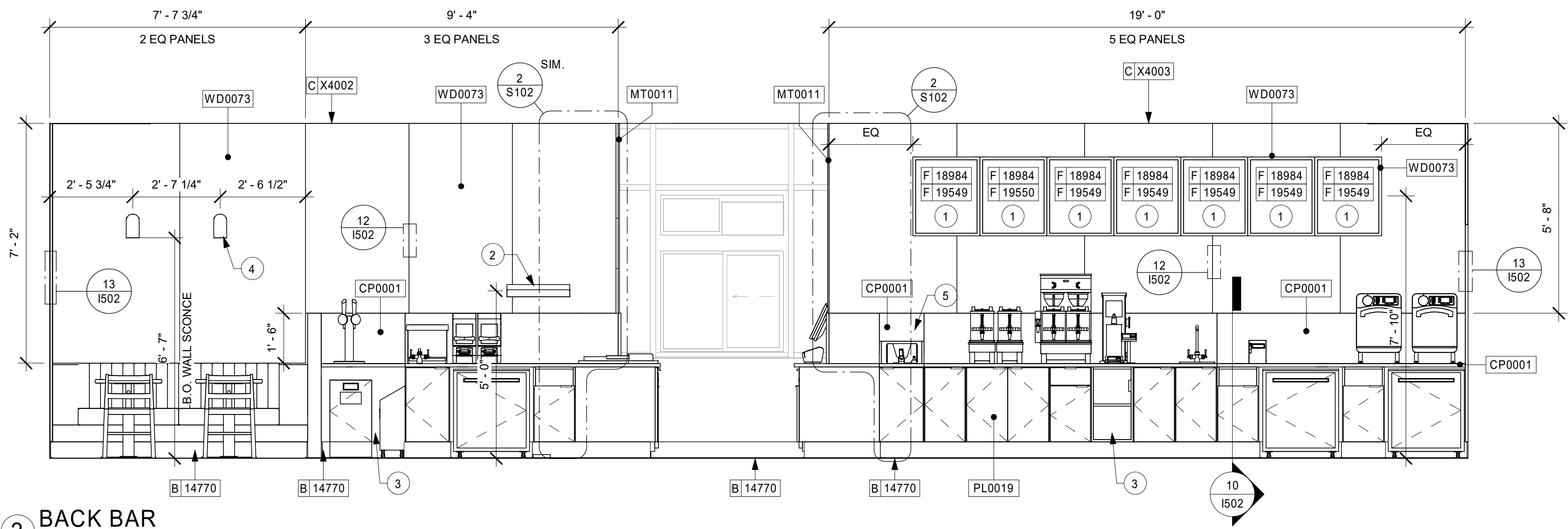
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

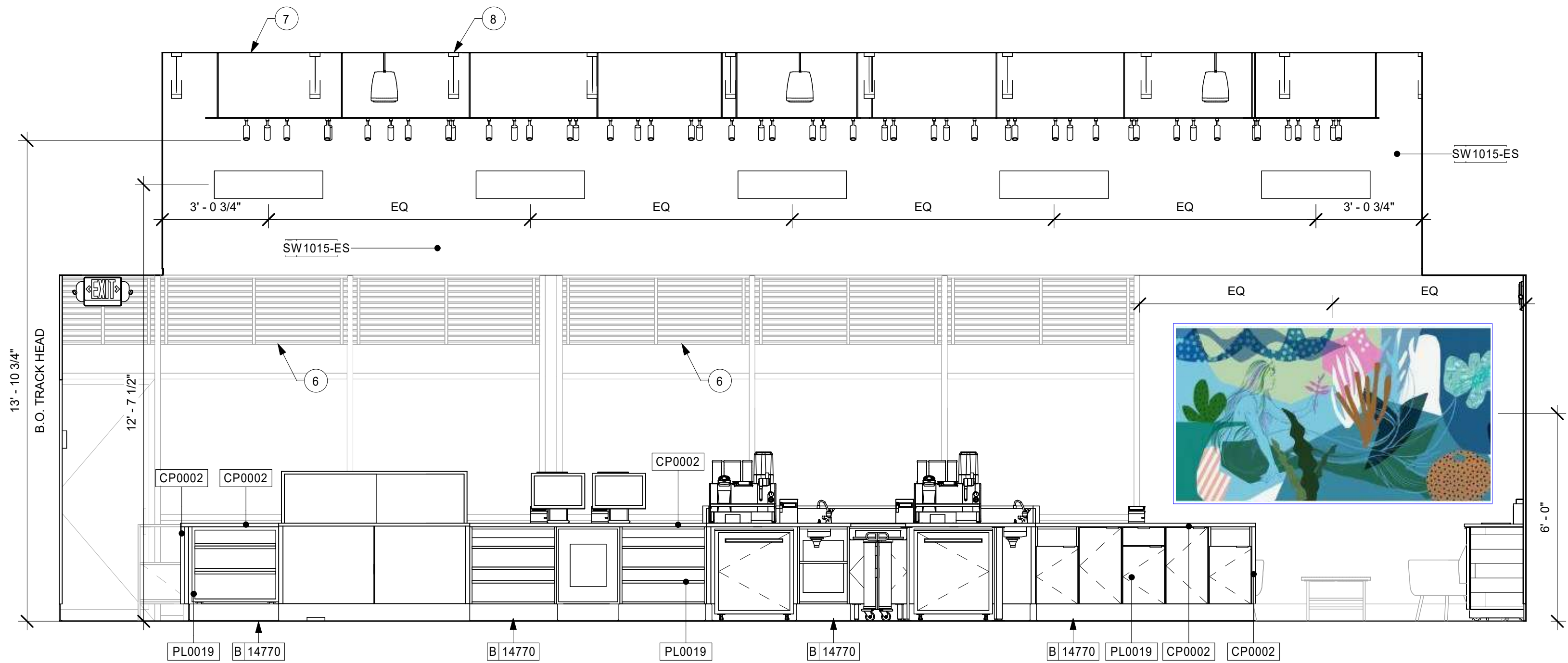
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**INTERIOR FINISH
ELEVATIONS**
SCALE: AS SHOWN

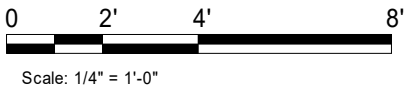
SHEET NUMBER:
I202



2 BACK BAR
Scale: 3/8" = 1'-0"



1 FRONT BAR PARTNERS SIDE
Scale: 3/8" = 1'-0"



KEYED NOTES

1. ATTACH MENU BOARDS PER INSTALLATION DETAILS.
2. SHELVING FOR CBE STATION AS SHOWN. G.C. TO PROVIDE WALL BLOCKING FOR FASTENERS.
3. WALL FINISH BEHIND EXPOSED CABINETRY AND BELOW UNDERSIDE OF COUNTERTOP SUBSTRATE TO BE FRP.
4. WALL SCOSCE (SEE REFLECTED CEILING PLAN ON SHEET I103 AND LIGHTING PLAN ON SHEET E102 FOR ADDITIONAL INFORMATION).
5. PROVIDE 6" (150MM) MIN. INTEGRAL SPLASHGUARD AT HAND SINK PER JURISDICTIONAL REQUIREMENTS.
6. WINDOW SHADES. TYP.
7. ACOUSTIC PANEL. ATTACHED TO DECKING. PAINTED SW9140-ES. PANEL NOT TO EXTEND PAST FACE OF BAR BELOW
8. EXPOSED STRUCTURE TO BE PAINTED AS SCHEDULED

GENERAL NOTES

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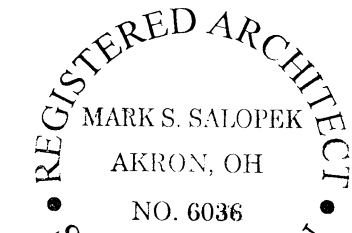
STARBUCKS TEMPLATE VERSION: I2019-10-25



GPD Engineering and Architecture
Professional Corporation

520 SOUTH MAIN ST., SUITE 2531
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GPD PROJECT NO: 2019355.20



1/31/2020

PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
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Revision Schedule

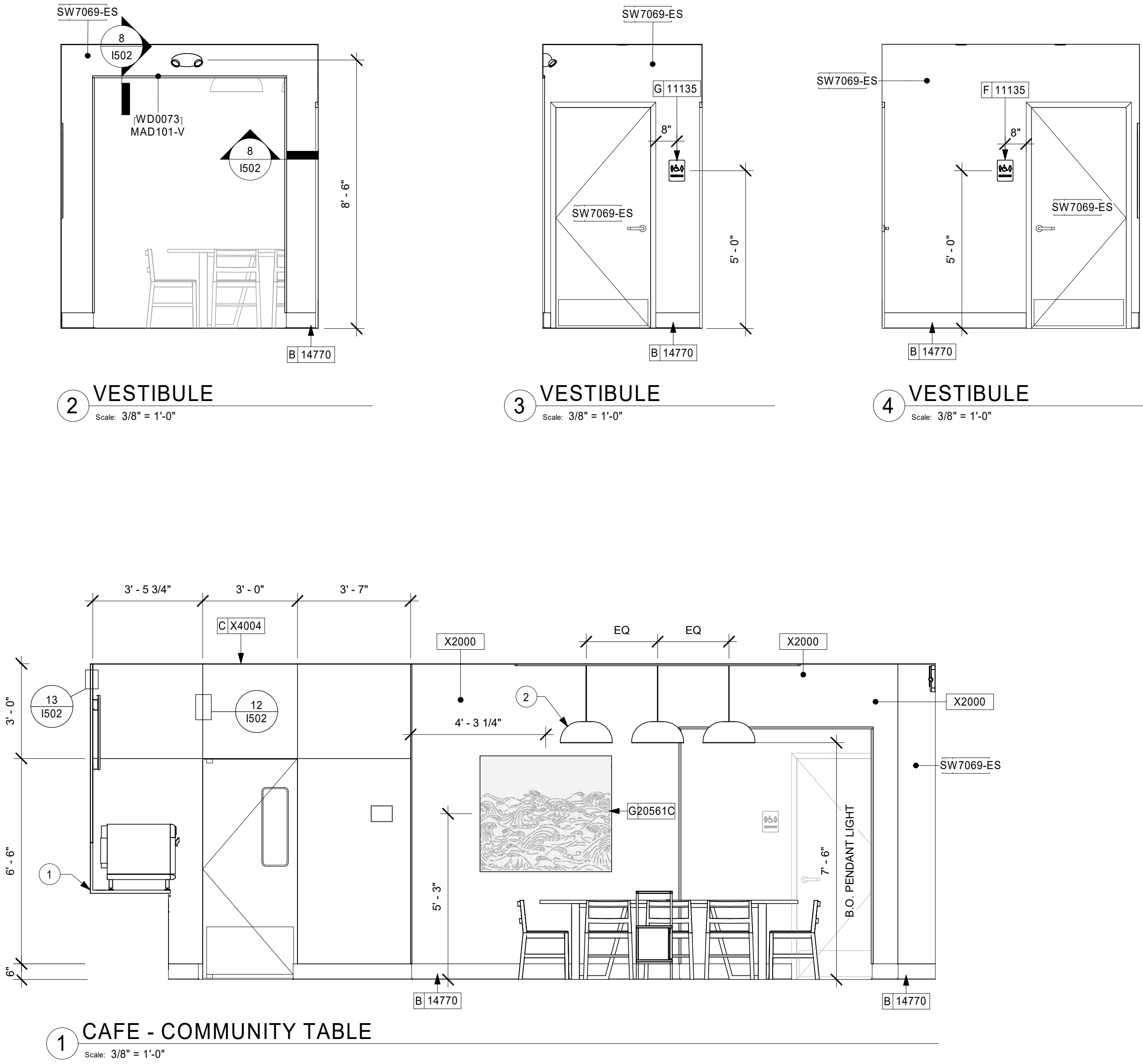
Rev	Date	By	Description

SHEET TITLE:
**INTERIOR FINISH
ELEVATIONS**

SCALE: AS SHOWN

SHEET NUMBER:

I203



KEYED NOTES

1. WALL FINISH BEHIND EXPOSED CABINETY AND BELOW UNDERSIDE OF COUNTERTOP SUBSTRATE TO BE FRP.
2. PENDANT LIGHT FIXTURE (SEE REFLECTED CEILING PLAN ON SHEET I103 AND LIGHTING PLAN ON SHEET E102 FOR ADDITIONAL INFORMATION). DRAWINGS).

GENERAL NOTES

- A. FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET I601.
- B. REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
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 - 2) ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.
 - a. WALL AND CEILING PAINTS TO BE EGGSHELL OR EQUAL.
 - 3) PAINTS IN BOH, RESTROOM(S) OR CAFE BAR SHALL BE SEMI-GLOSS OR EQUAL.
- E. PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS NATIONAL ACCOUNT COLOR CODE WHEN ORDERING PAINTS.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE, SEMI-GLOSS OR HIGH GLOSS FINISH.
- G. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- H. REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET I102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- I. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- J. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- K. ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
- L. INSTALL BLOCKING AND HANGERS FOR WALL SHELVING BEFORE INSTALLING BACK BAR TILE.
- M. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WORKROOM WALL FINISHES.



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STARBUCKS TEMPLATE VERSION: I2019-10-25



520 SOUTH MAIN ST, SUITE 2531
AKRON, OH 44311
P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**INTERIOR FINISH
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
I204

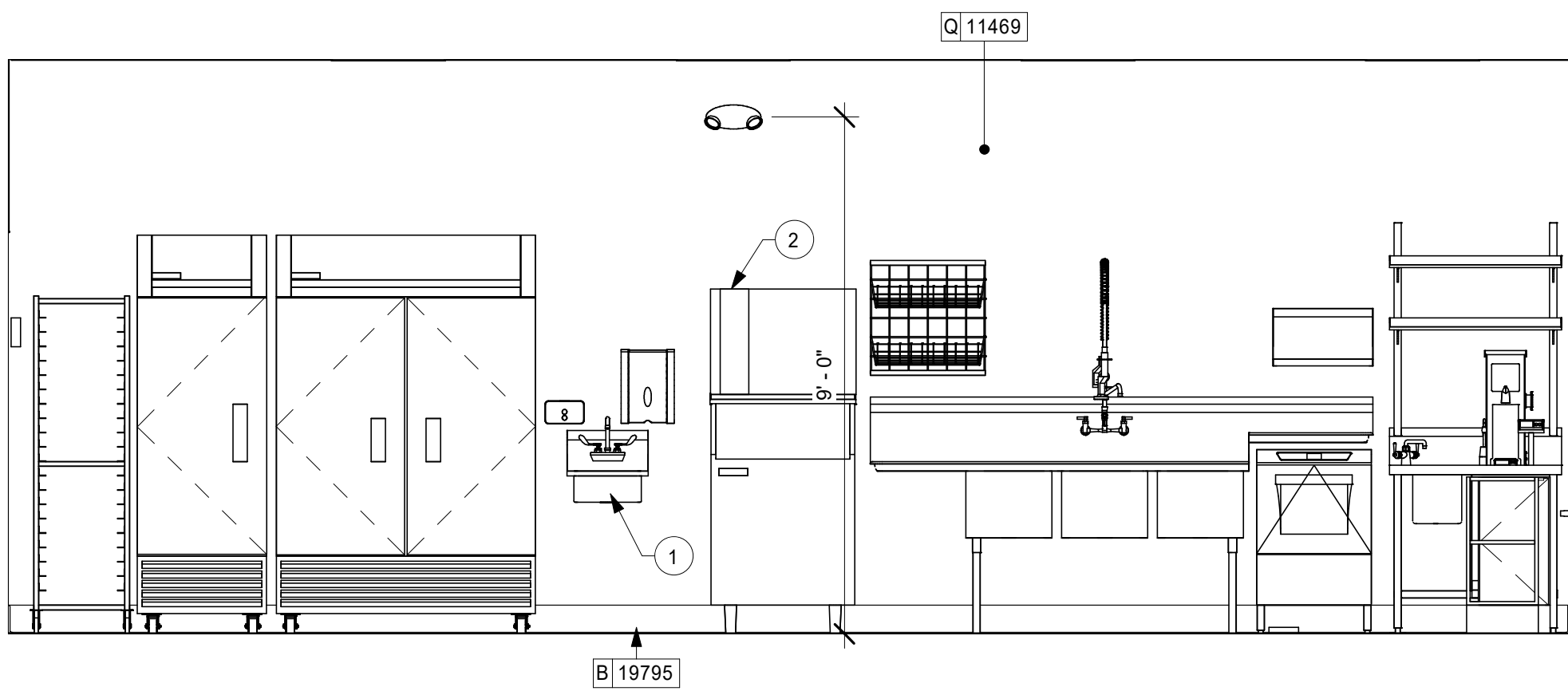
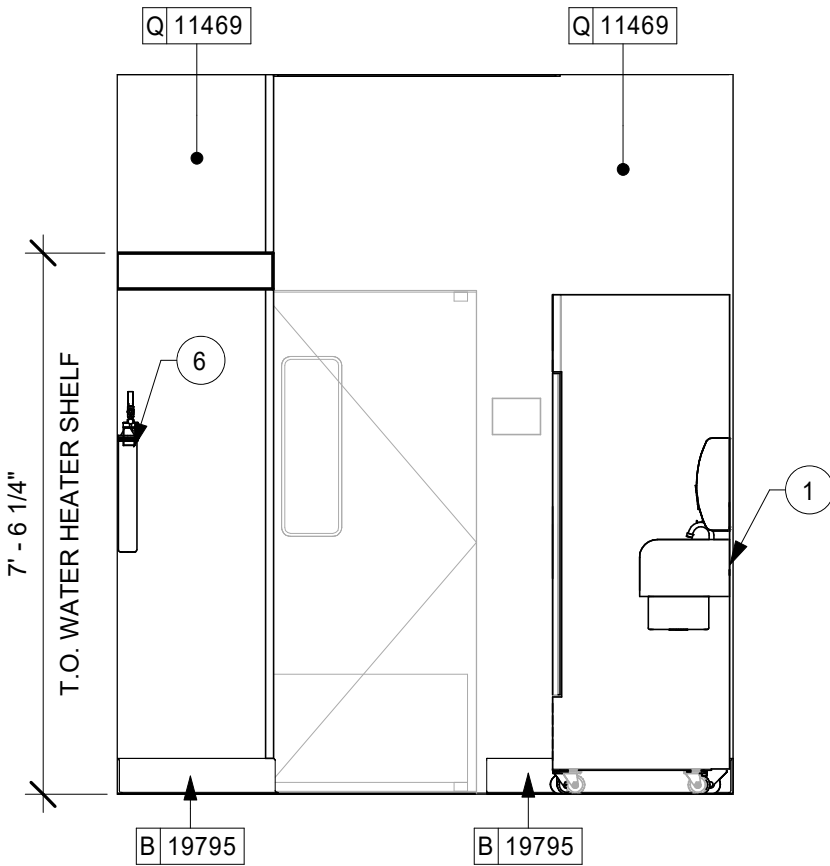
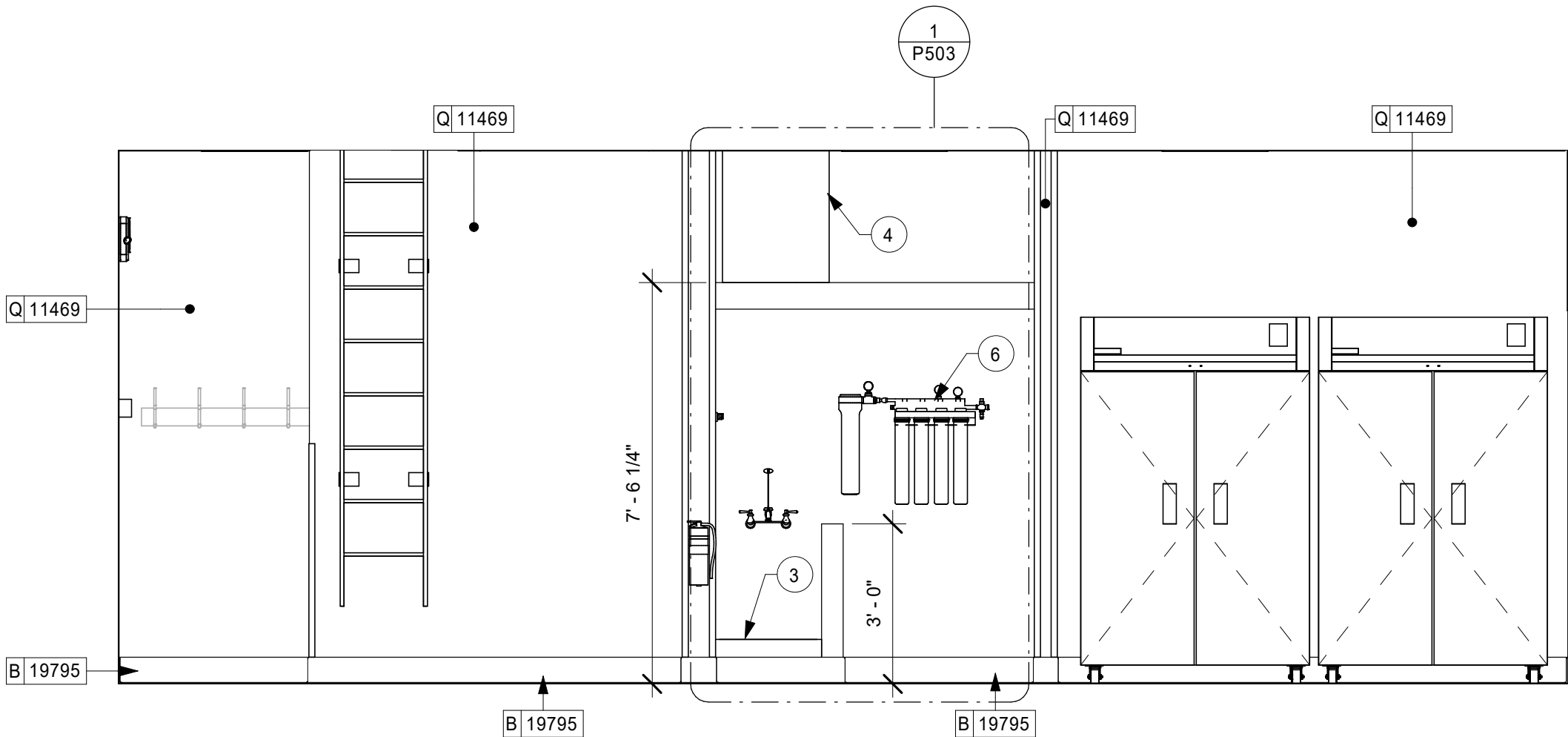
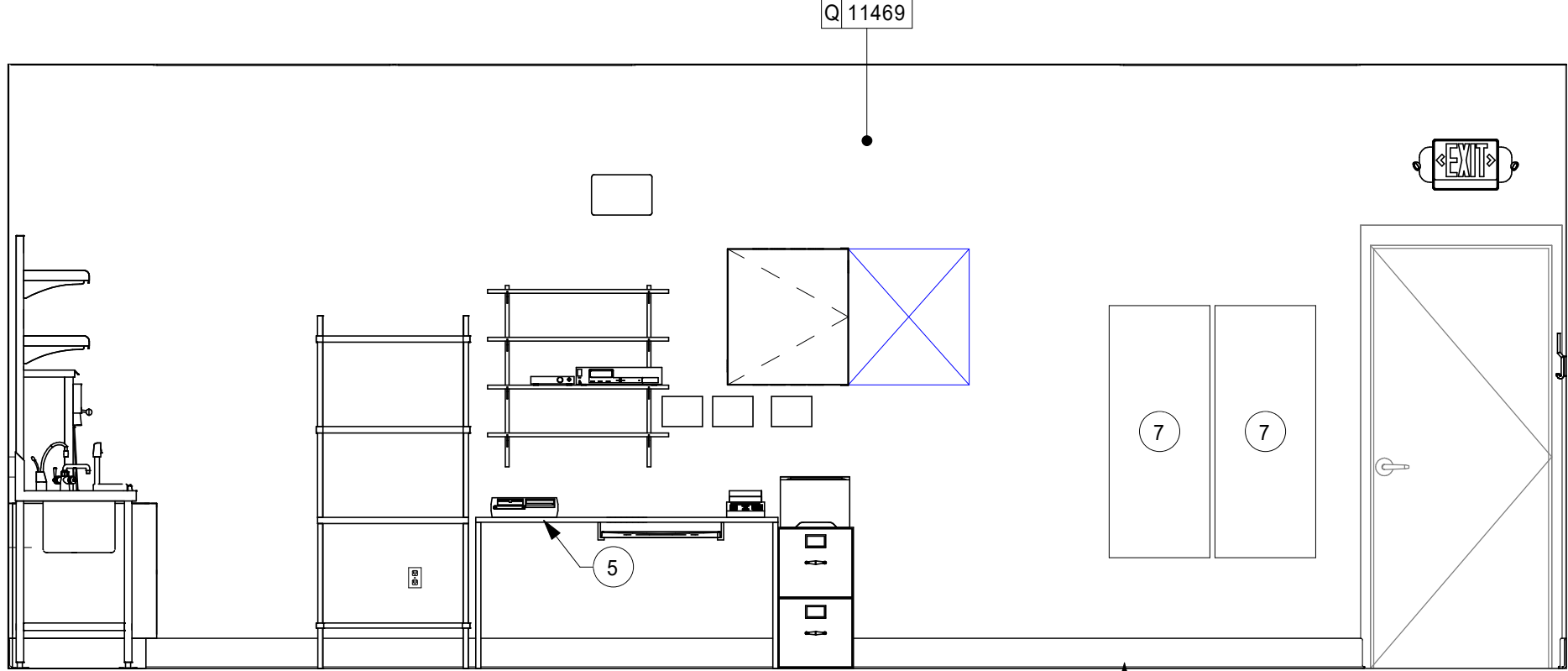
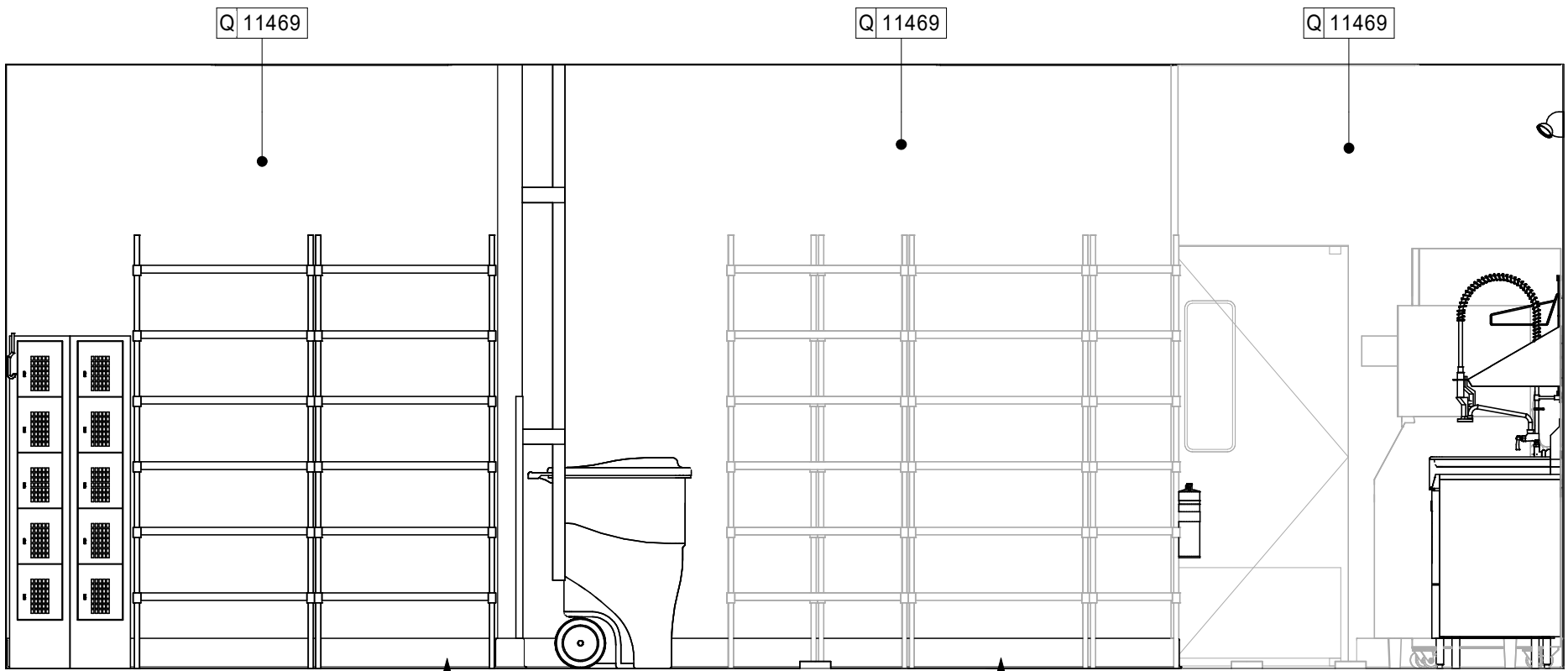
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KEYED NOTES

1. WALL MOUNT HAND SINK WITH SOAP AND PAPER TOWEL DISPENSER. G.C. TO PROVIDE BLOCKING FOR FASTENERS.
2. ICE MACHINE (SEE PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION).
3. MOP SINK. FULL HEIGHT FRP AT ENCLOSURE (SEE PLUMBING PLANS FOR MORE INFORMATION).
4. WATER HEATER ABOVE (SEE PLUMBING DRAWINGS).
5. MANAGER'S DESK (SEE ENLARGED DETAILS).
6. WATER FILTRATION EQUIPMENT (SEE PLUMBING DRAWINGS).
7. ELECTRICAL PANELS

GENERAL NOTES

- A. FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET 1601.
- B. REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
- C. CHANGE PAINT COLOR ONLY AT INSIDE CORNERS UNLESS OTHERWISE INDICATED.
- D. PAINT FINISHES SHALL BE APPLIED AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - 1) WOODS AND METAL SURFACES SHALL BE SEMI-GLOSS OR EQUAL.
 - 2) ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.
 - a. WALL AND CEILING PAINTS TO BE EGGSHELL OR EQUAL.
 - 3) PAINTS IN BOH, RESTROOM(S) OR CAFE BAR SHALL BE SEMI-GLOSS OR EQUAL.
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- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE; SEMI-GLOSS OR HIGH GLOSS FINISH.
- G. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETRY) SHALL BE SEALED.
- H. REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET 1102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- I. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- J. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- K. ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
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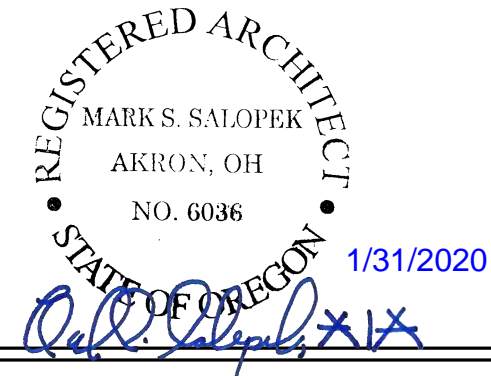
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STARBUCKS TEMPLATE VERSION: 12019-10-25



520 SOUTH MAIN ST, SUITE 2531
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P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

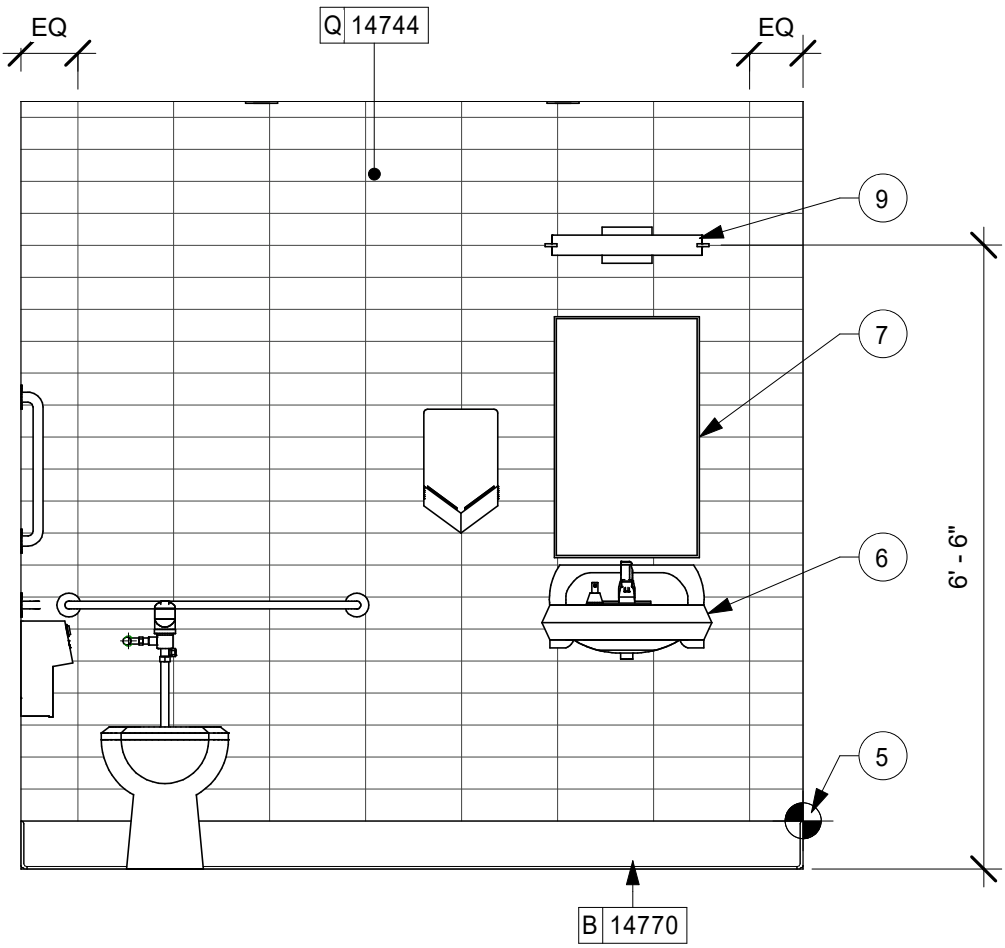
PROJECT ADDRESS:
**101, COOS BAY VILLAGE
COOS BAY, OR 97420**

STORE #: 60983
PROJECT #: 84073-001
ISSUE DATE: 01-29-20 - 100 percent
DESIGN MANAGER: RYAN WONG
PRODUCTION DESIGNER: GPD
CHECKED BY: TC

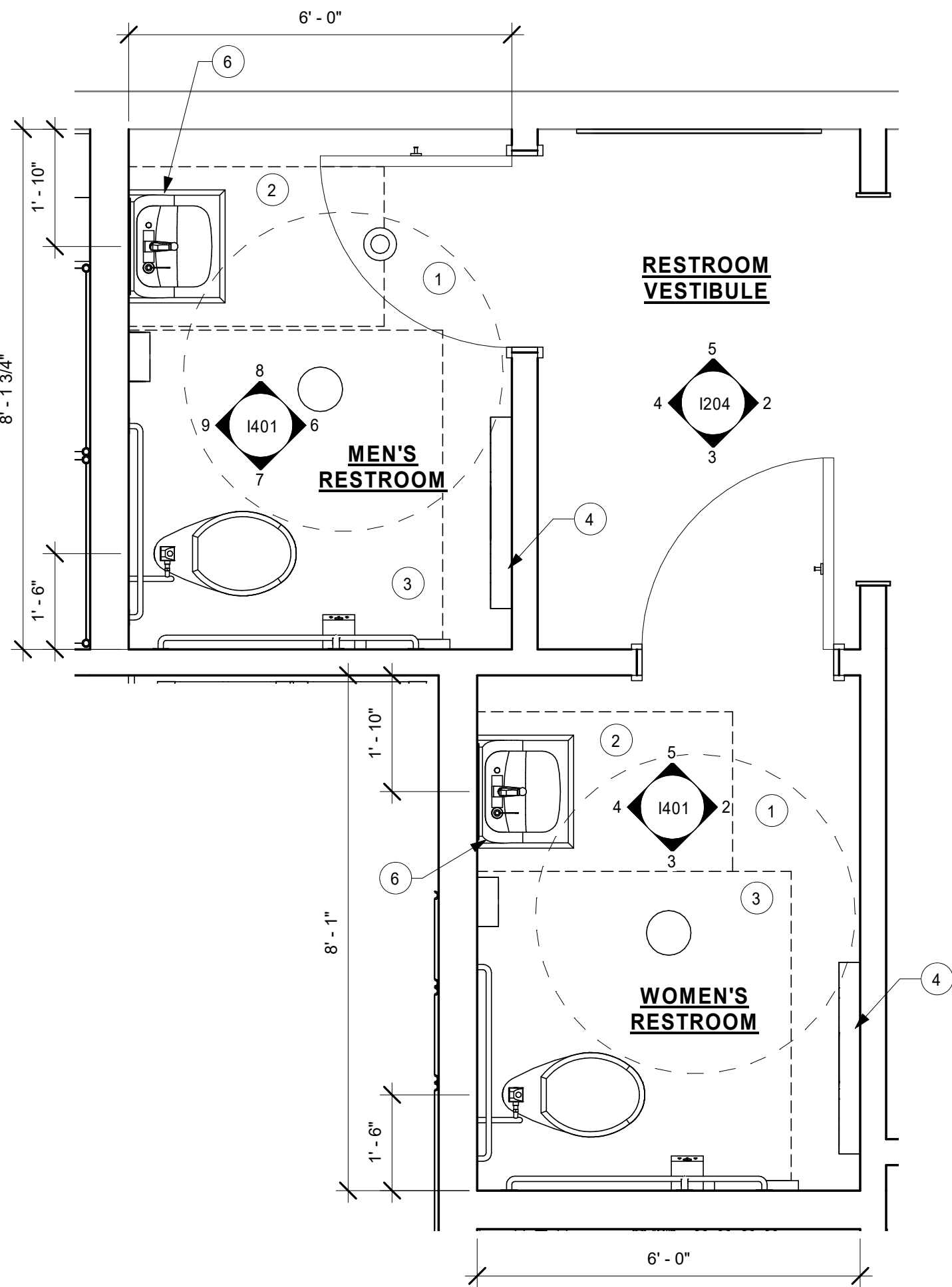
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**INTERIOR FINISH
ELEVATIONS**
SCALE: AS SHOWN

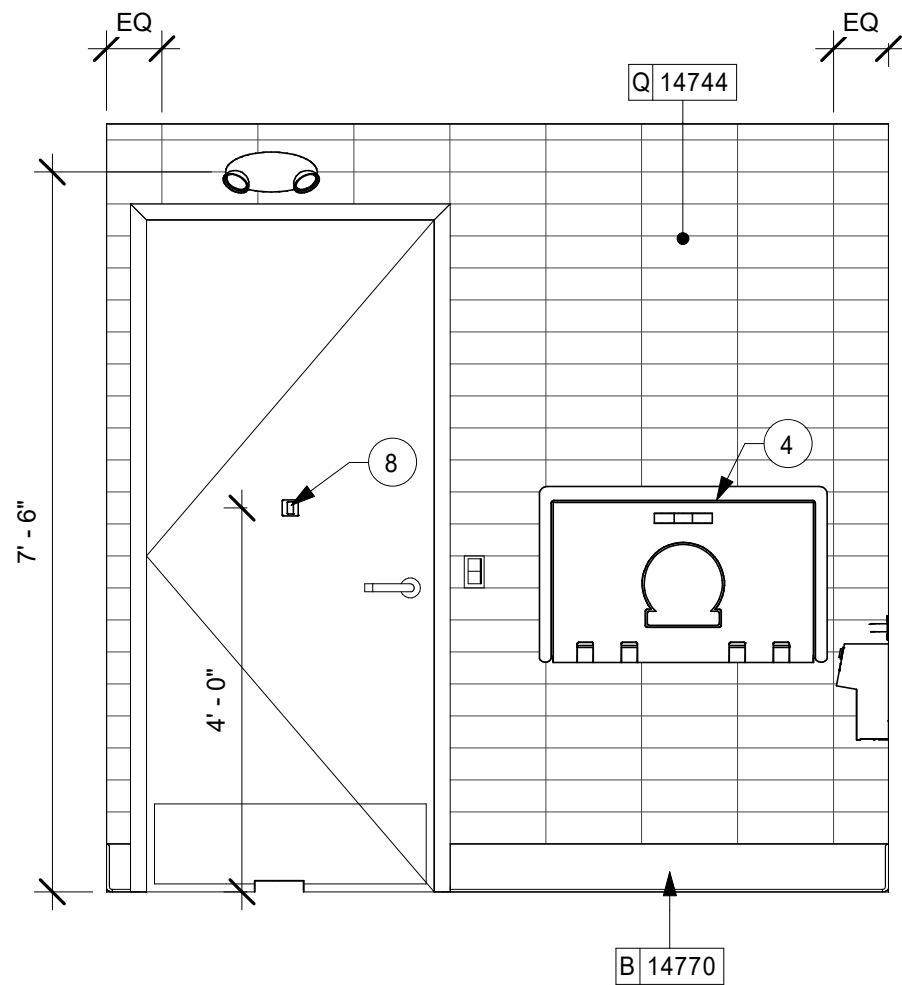
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1205



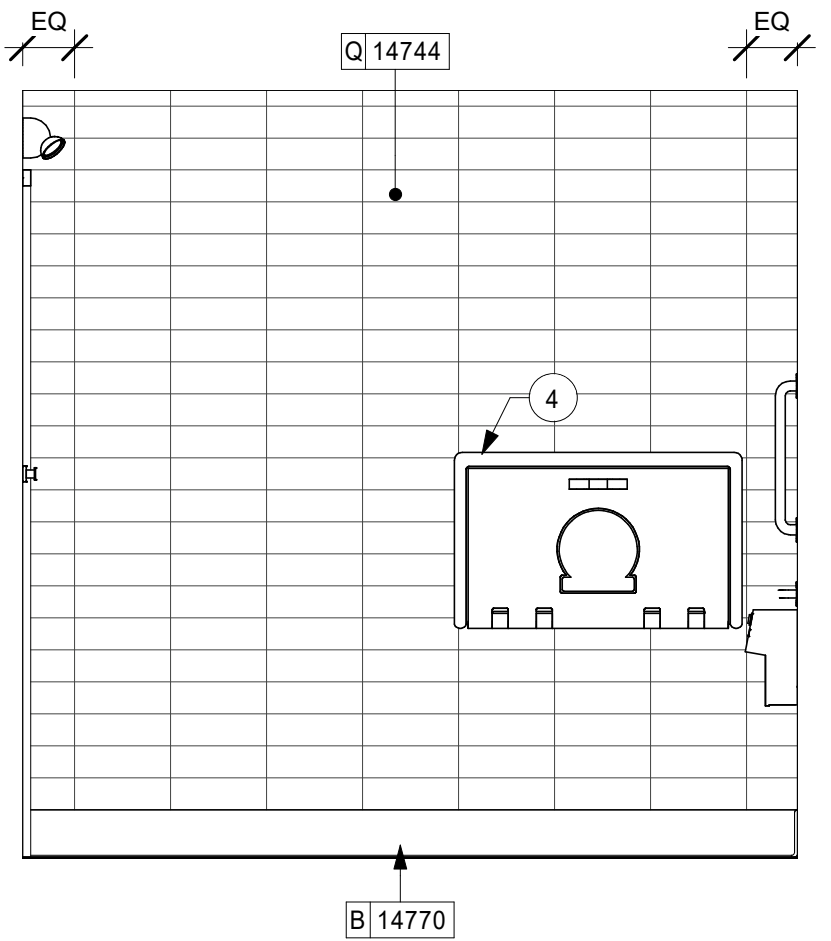
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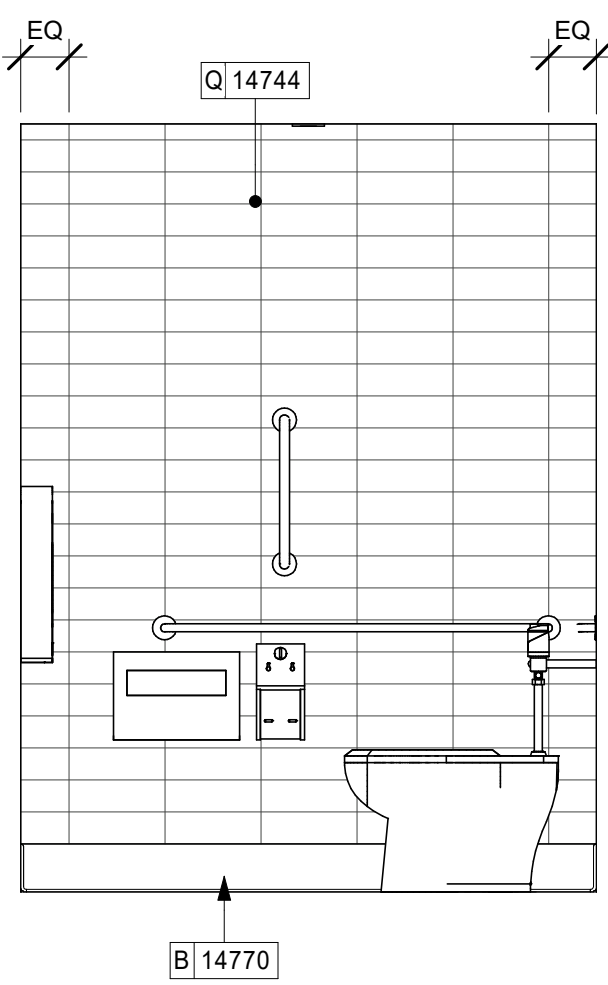
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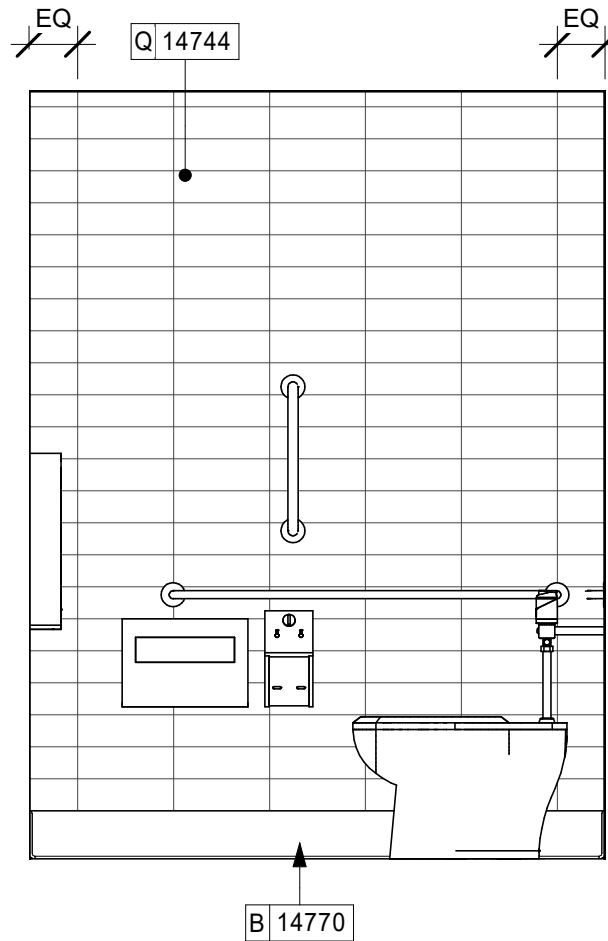
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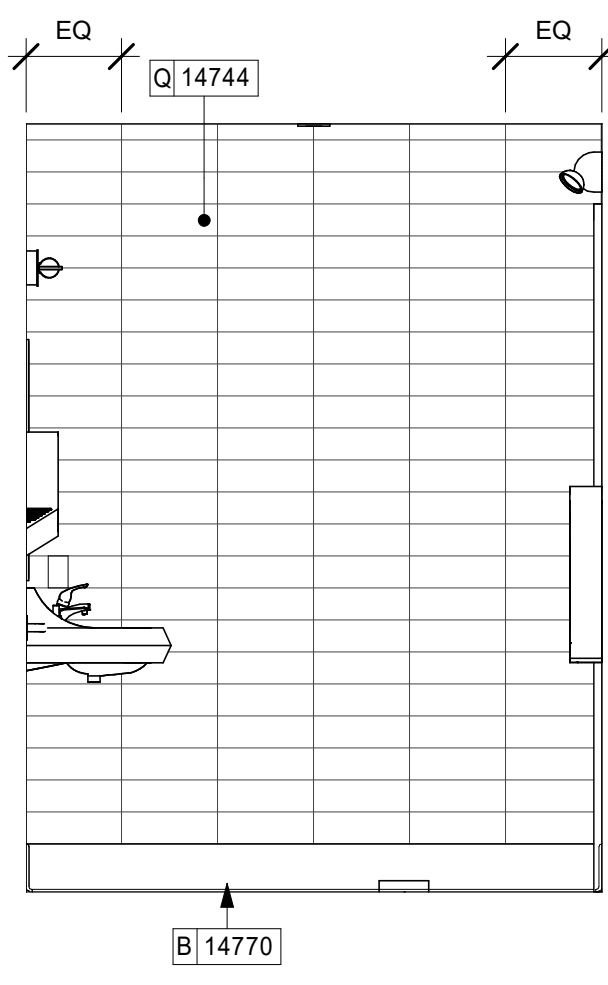
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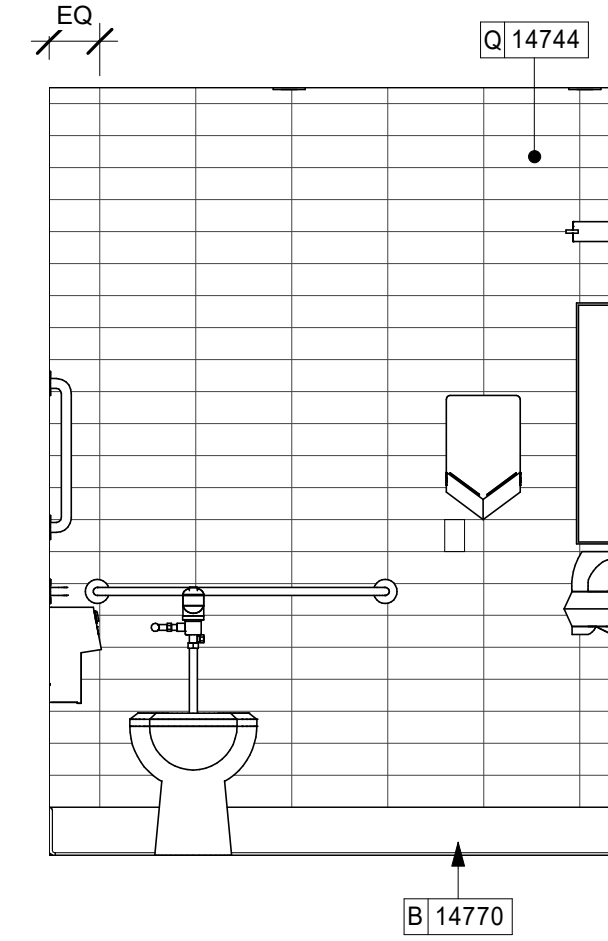
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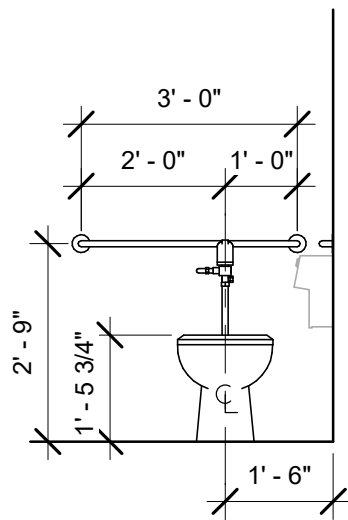
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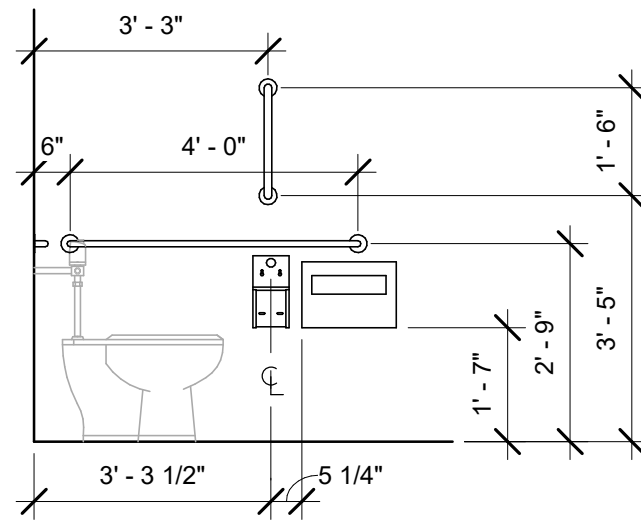
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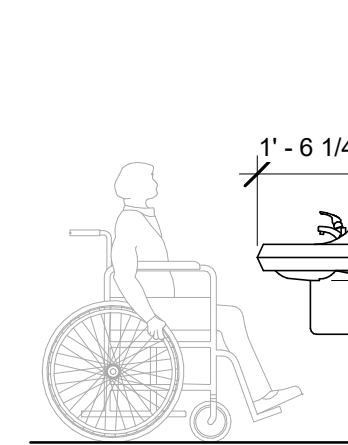
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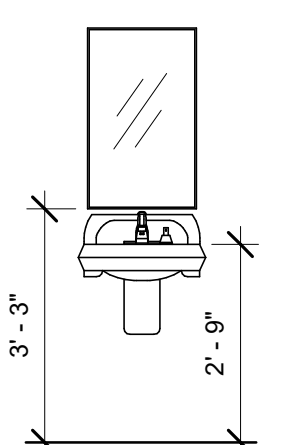
TOILET
FRONT ELEVATION



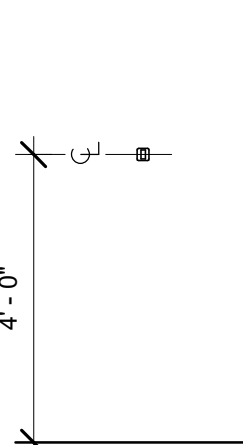
TOILET
SIDE ELEVATION



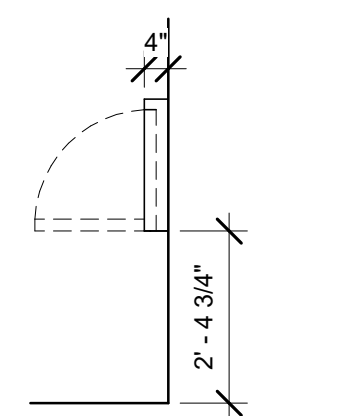
HAND SINK
SIDE ELEVATION



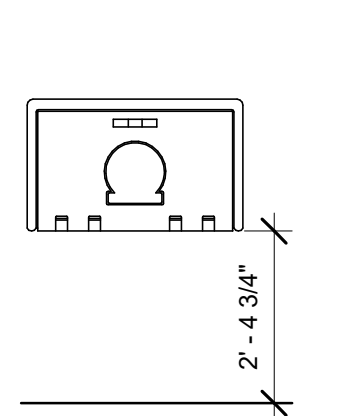
HAND SINK
FRONT ELEVATION



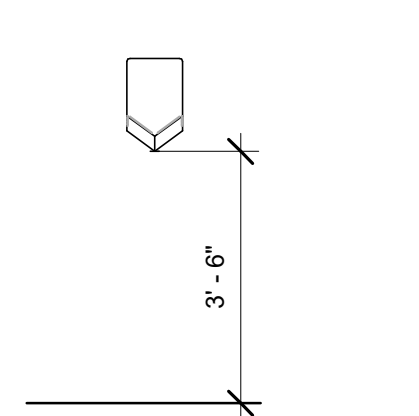
COAT HOOK
ELEVATION



DIAPER CHANGING
STATION SIDE ELEVATION



DIAPER CHANGING
STATION FRONT ELEVATION



ELECTRIC HAND
DRYER FRONT ELEVATION

KEYED NOTES

- 60" (1525mm) ACCESSIBLE TURNING RADIUS.
- 30" (760mm) X 40" (1015MM) CLEAR FLOOR SPACE.
- WATER CLOSET CLEAR FLOOR SPACE.
- BABY CHANGING FIXTURE. GENERAL CONTRACTOR TO PROVIDE BLOCKING PER MANUFACTURER'S RECOMMENDATION.
- TILE START POINT WHERE INDICATED.
- WALL MOUNTED LAVATORY INSTALLED WITH INSULATED BOOT AT EXPOSED PIPES.
- CENTER MIRROR OVER LAVATORY. MOUNT AT 40" (1015MM) MAX. TO BOTTOM EDGE OF REFLECTIVE SURFACE.
- COAT HOOK. MOUNT AT CENTERLINE OF DOOR.
- CENTER SCONCE LIGHTING OVER MIRROR (SEE ELECTRICAL).

GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO BE TAKEN FROM A DESIGNATED DATUM POINT.
- DIMENSIONS ARE TO FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
- DIAPER CHANGING STATION IS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. UNIT IS TO BE FASTENED TO STRUCTURE AT ALL SIX CHASSIS ATTACHMENT POINTS.
- LOCATE DIAPER CHANGING STATION AS SHOWN TO ALLOW NECESSARY CLEARANCE FOR OPERATION OF ALL RESTROOM FIXTURES. LOCATION SHALL NOT IMPEDE ACCESS, EGRESS, OR DOOR SWING.
- ALL RESTROOM ACCESSORY MOUNTING HEIGHTS AND CLEARANCES SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF THE LOCAL JURISDICTION.



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P: 330-572-2100 F: 330-572-2101

GPD PROJECT NO: 2019355.20



PROJECT NAME:
HWY 101 - COOS BAY

PROJECT ADDRESS:
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STORE #: 60983
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DESIGN MANAGER: RYAN WONG
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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**RESTROOM PLAN &
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:

1401